



Comhairle Chontae Chill Chainnigh

Halla an Chontae Sraid Eoin Cill Chainnigh
R95 A39T

Kilkenny County Council

County Hall John Street Kilkenny
R95 A39T



Pobail agus Áiteanna Inbhuanaíthe a Chruthú

Creating Sustainable Communities and Places

**TO: AN CATHAOIRLEACH
& EACH MEMBER OF KILKENNY COUNTY COUNCIL**

RE: PART VIII - The demolition of existing single storey side and rear extensions (approx. 18.5sqm), the demolition of a shed to the rear of the site (approx. 34sqm) and the construction of a new part 2 storey, part single storey extension (77sqm) to provide a 4-bedroom house with an accessible ground floor bedroom, bathroom & living accommodation, a new Domestic waste water treatment system and percolation area with all associated site works at 18 Skeagh, Callan, Co. Kilkenny, R95 A9X8.

Planning & Development Acts as amended

Planning & Development Regulations as amended

DATE: 9th September, 2025.

Dear Councillor,

In accordance with 179 of the Planning & Development Act 2000, as amended and Part VIII of the Planning & Development Regulations 2001, as amended, Kilkenny County Council hereby gives notice of its intention to carry out the following development:

18 Upper Bridge Street:

1. The re-instatement of an original carriageway to provide pedestrian access to Clodeen Lane from Up Bridge St.
2. The conversion of the upper floors of no. 18 to 2 no. 1 bedroom apartments with new shared access, demolition of 60m² of ground floor accommodation, demolition of concrete rear sheds (40m²) and construction of new extension of 42.5m²,
3. Ground floor use to remain as General Business.

20 Upper Bridge Street:

4. Demolition of 65m² existing single storey modern extension to the rear, construction of a new extension of 36m² to the building to allow the conversion of the upper floors of no. 20 to 2 no. 1 bedroom apartments with new shared access.
5. Ground floor use to remain as General Business.

Works will also include full refurbishment and conservation works to the interiors and exteriors of both 18 & 20, and all associated site development works. Number 18 (RPS reference C30, 12314049 NIAH reference) and number 20 (RPS reference C799, 12314051 NIAH Reference) are both on the Record of Protected Structures and located in the Callan ACA. I attach herewith Report of the Director of Services together with Planner's Report. I am satisfied that the proposed development is consistent with proper planning and sustainable development of the area and consistent with the provisions of the County Development Plan 2021- 2027.

I recommend that Kilkenny County Council proceed with the proposed development in accordance with the plans made available for public inspection and taking into account any proposed revisions to plans as outlined in the report and recommendations made by the Planning and other Service Departments.

Lar Power
Chief Executive



KILKENNY COUNTY COUNCIL REPORT

Dated 3rd July, 2025

In Accordance with Section 179 of the Planning and Development Acts, 2000 as amended

The proposed development will consist of the following works:

18 Upper Bridge Street (R95 H9W0):

1. The re-instatement of an original carriageway to provide pedestrian access to Clodeen Lane from Upper Bridge St.
2. The conversion of the upper floors of no. 18 to 2 no. 1-bedroom apartments with new shared access, demolition of 60m² of ground floor accommodation, demolition of concrete rear sheds (40m²) and construction of new extension of 42.5m²,
3. Ground floor use to remain as General Business

20 Upper Bridge Street (R95 T274):

4. Demolition of 65m² existing single storey modern extension to the rear, construction of a new extension of 36m² to the building to allow the conversion of the upper floors to 2 no. 1-bedroom apartments with new shared access
5. Ground floor use to remain as General Business

Works will also include full refurbishment and conservation works to the interiors and exteriors of both 18 & 20, and all associated site development works.

Number 18 (RPS reference C30, 12314049 NIAH reference) and number 20 (RPS reference C799, 12314051 NIAH Reference) are both on the Record of Protected Structures and located in the Callan ACA.

**For consideration by the Elected Members of Kilkenny County Council
at monthly meeting to be held
on 15th September, 2025**

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1. Introduction

This report has been prepared for submission to the elected members of Kilkenny County Council and contains information regarding the proposed development, any issues raised following the erection of the public notice of the proposed development and the display for public inspection of the plans and particulars and other matters as required in accordance with Section 179 of the Planning & Development Acts, 2000 as amended.

2. Description of Proposed Development

The proposal put forward on public display provided for 1 no ground floor general business unit a & 2 no. 1 bedroom apartments at 18 Upper Bridge Street Callan, and 1 no ground floor general business unit a & 2 no. 1 bedroom apartments at 20 Upper Bridge Street, Callan as follows:-

Unit	Type	Capacity	Location
1	General Business Unit	76 Sq m	18 Upper Bridge St.
2	1 Bedroom Apartment	1 bed, 2 person	18 Upper Bridge St.
3	1 Bedroom Apartment	1 bed, 2 person	18 Upper Bridge St.
4	General Business Unit	42 Sq m	20 Upper Bridge St.
5	1 Bedroom Apartment	1 bed 2 person	20 Upper Bridge St.
6	1 Bedroom Apartment	1 bed 2 person	20 Upper Bridge St.

To achieve the above the following works are proposed:

18 Upper Bridge Street (R95 H9W0):

1. The re-instatement of an original carriageway to provide pedestrian access to Clodeen Lane from Upper Bridge St.
2. The conversion of the upper floors of no. 18 to 2 no. 1-bedroom apartments with new shared access, demolition of 60m² of ground floor accommodation, demolition of concrete rear sheds (40m²) and construction of new extension of 42.5m²,
3. Ground floor use to remain as General Business

20 Upper Bridge Street (R95 T274):

4. Demolition of 65m² existing single storey modern extension to the rear, construction of a new 3 storey extension of 36m² to the building to allow the conversion of the upper floors to 2 no. 1-bedroom apartments with new shared access
5. Ground floor use to remain as General Business

Works will also include full refurbishment, and conservation works to the interiors and exteriors of both 18 & 20, and all associated site development works.

Number 18 (RPS reference C30, 12314049 NIAH reference) and number 20 (RPS reference C799, 12314051 NIAH Reference) are both on the Record of Protected Structures and located in the Callan ACA.

The project has been granted partial funding by the Dept of Housing under the Social Housing Investment Programme (SHIP) and partial funding from the **Rural Regeneration and Development Fund (RRDF)**.

This proposal makes use of existing, vacant buildings in Callan's town centre as small-scale regeneration to reinstate the existing commercial use and provide additional housing units in the area. The buildings are located close to all amenities, within comfortable walking distance of a supermarket, shops, medical centres, pharmacies, library, schools and churches. The public amenity of the Motte Field and Abbey Meadows are also nearby.

The project has added value in terms of urban renewal and the regeneration will enhance the streetscape and play an important role in keeping a residential and commercial presence in this area.

The proposal was put forward having regard to the social housing demand in the Callan Area, which is currently as highlighted in fig.1 below.

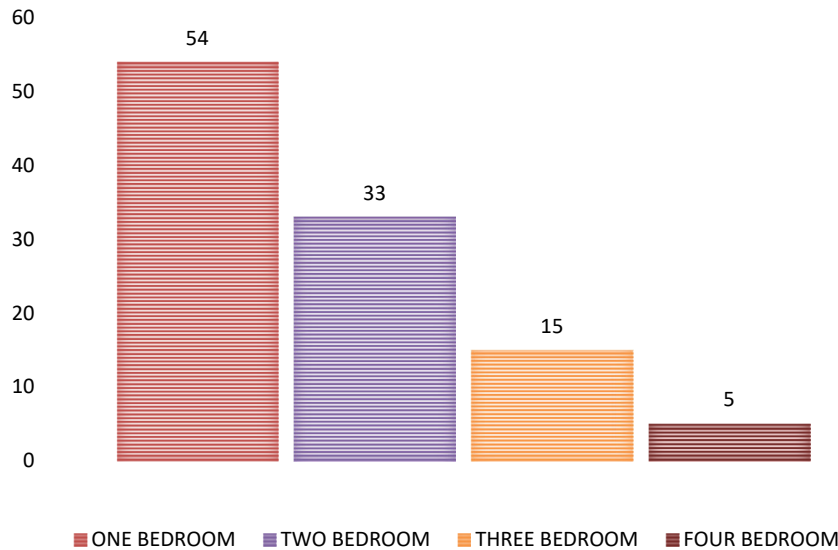


Fig.1 Callan first preference approved applications (Total = 107 Applications)

As part of the planning application process the Housing Section was advised of planning requirements through a formal pre-Part 8 submission prior to lodging the application.

3. Notice of Development

A notice describing the proposed development was placed in the Kilkenny People, week ending Friday 30th May, 2025. A Site Notice was displayed at the site location from Friday 30th May, 2025.

4. Consultation

- a) Details of the proposals were put on display on the Consult website: <https://consult.kilkenny.ie>, the Planning Department, Kilkenny County Council and the Municipal District Area Office in Callan between the dates 30th May 2025 and 27th June 2025 inclusive.

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- b) An information evening was held in the Municipal District of Callan – Thomastown, **Callan Area Office**, Clonmel Road, Callan on Thursday 26th June 2025 from 5pm until 7pm. Two staff members from Kilkenny County Council Housing Section were in attendance to meet interested parties and answer any questions regarding this development.

All were invited to attend by way of advertisement on social media, a leaflet drop on Upper Bridge Street, notices in the windows of 18 & 20 Upper Bridge Street Callan, and in Callan Area office. Approximately 20 members of the public attended, excluding councillors. Information on how to make a submission was provided to all.

5. Details of Submissions Received

3 no. valid submissions were received before the closing date as follows:-

No.	Name	Address	Date Received
1	William Dalton P.P	Parochial House, Prologue, Callan, Co. Kilkenny, R95 X9Y5.	11/07/2025
2	Thomas Delahunty & Gabriella Kiss	21 Upper Bridge Street, Callan.	11/07/2025
3	Uisce Eireann	Colvill House, 24-26 Talbot Street, Dublin 1	02/07/2025

The submissions from the members of the public are summarised in item 7.

Proposed Revisions to Plans in response to submissions below.

An observation was received from Uisce Eireann dated 2nd July 2025 stating that they have no objection in principle, and that the applicant is required to enter into a Connection Agreement with Uisce Eireann. There are existing water and wastewater connections to both properties which will be re-used, with additional connections proposed as included in the consultation documentation.

6. Proposed Revisions to Plans in response to submissions:-

A summary of issues raised during the consultation phase are outlined below:

	Issue	KCC Housing Section Response
a	Retention of Ground Floor Commercial Use.	One submission while welcoming the renovation generally referenced the 'ground floor uses to remain as general business' as a negative to the proposed development and the fabric of the town. Their concern was that the commercial unit will lay vacant like many others in the area. Kilkenny County Council are currently investigating funding options for the development of the ground floor units as artists' workshops. We feel that given the vibrant artist community in Callan that this would be a suitable use and bring life to the street at ground floor level. We reviewed the option of the ground floor being used as residential, however with the risk of flooding in this area, this was not a preferred option.
b	Scale of Extension to the rear of No. 20 Upper Bridge Street.	One submission from the property owners of no. 21 Upper Bridge Street referenced the general size of the proposed extension to the rear of 20 Upper Bridge Street and how it would affect their neighbouring rear courtyard. To address this concern, KCC Housing Department have examined the design and looked at the option of reducing/removing the rear extension to No. 20 Upper Bridge Street. The result would be the loss of one apartment unit from the overall project which would make the development unviable from a funding perspective. As removing or reducing the extension is not viable, we prepared a shadow study of the proposed development. The extension is to the north of No. 21, and the study shows that there is no additional overshadowing to the rear courtyard at No. 21 Upper Bridge Street, Callan caused by the proposed rear extension at No. 20 Upper Bridge Street.
c	Balconies to the rear of the proposed apartments to No. 20 Upper Bridge Street would overlook the properties either side (No. 19 & 21 Upper Bridge St.).	The submission raised a concern that the balconies to the rear of No. 20 Upper Bridge Street would overlook the properties on either side of the development (19 & 21 Upper Bridge Street.) To address this concern, the balconies to the rear of No. 20 Upper Bridge Street will be constructed so that only the east facing side of the balcony (facing directly towards the rear and Clodeen Lane) will be open and screening to either side is provided so that overlooking directly to the north and south will not be possible.

The following revisions are proposed:-

A. The balconies will include screening to the sides to avoid overlooking of neighbouring properties.

Observations were also received from the Department of Housing, Local Government and Heritage regarding archaeological monitoring. Their observations are noted and will be included in the Works Requirements at Tender Stage.

It is the view of Kilkenny County Council that the proposed revision adequately addresses the valid concerns raised.

7. Implications for Proper Planning and Sustainable Development of the Area

The proposed development is consistent with the provisions of the Kilkenny City & County Development Plan (2021-2027) and the Callan Local Area Plan (2019-2025) and is compatible with the zoning objectives and the Housing Strategy for the area.

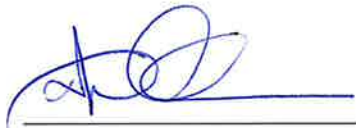
A copy of a report by the Area Planner is appended to this report. All recommendations / observation contained within the Area Planners Report will be considered by the Housing Section when preparing the detailed tender drawings.

8. Kilkenny County Council's Intention Regarding Proposed Development

Proposed Development: Part 8 Proposal

Proposed Development at 18 & 20 Upper Bridge Street, Callan, Co. Kilkenny.

I recommend that Kilkenny County Council proceed with the proposed development in accordance with the plans made available for public inspection and taking into account the recommendations made by the Planning and other Service Departments.

SIGNED:  DATE: 8/9/25
Ian Gardner
A/Director of Services

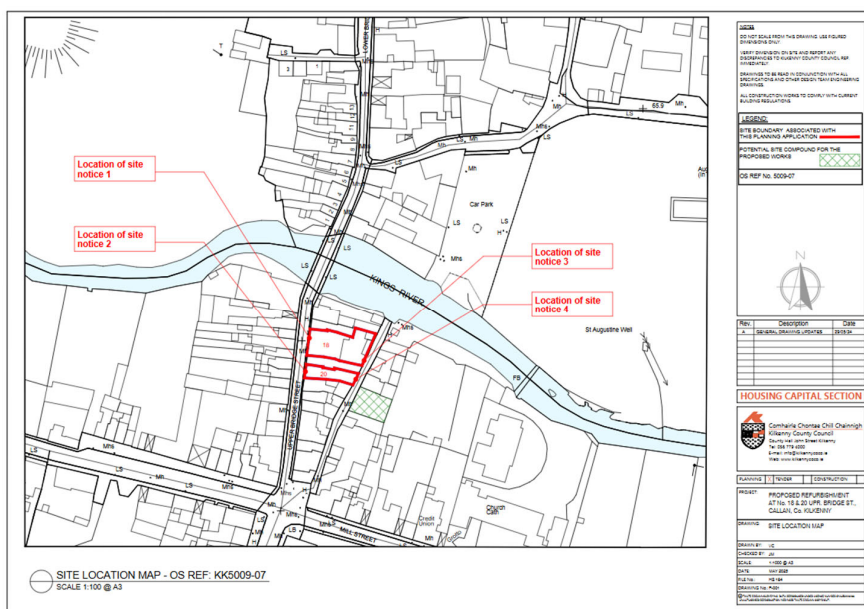
Appendix A –Planning Report

Part 8 Ref. No.: Part 8: 02/ 25

Development: **Housing at 18 & 20 Upper Bridge Street, Callan, Kilkenny**

The sites are located within the urban area of Callan. The proposed development would be located on two sites, at Nos. 18 and 20 Upper Bridge Street; the sites extend to the Clodeen Lane to the rear of the site, and form part of terrace of buildings fronting directly onto the public footpath. At the time of site inspection, both buildings were vacant. No. 18 consists of a three-storey building (with second floor consists of a dormer), No. 20 is a three-storey building. The rear yard of No. 18 contains existing sheds which appear to be in poor disrepair.

- Flood risk area as per OPW maps
- Zone of Archaeological Potential
- Callan Architectural Conservation Area
- Number 18 (Record of Protected Structures reference C30, 12314049 NIAH reference)
- Number 20 (Record of Protected Structures reference C799, 12314051 NIAH Reference)
- River Barrow and River Nore SAC is located to the north of the site



Site location map submitted



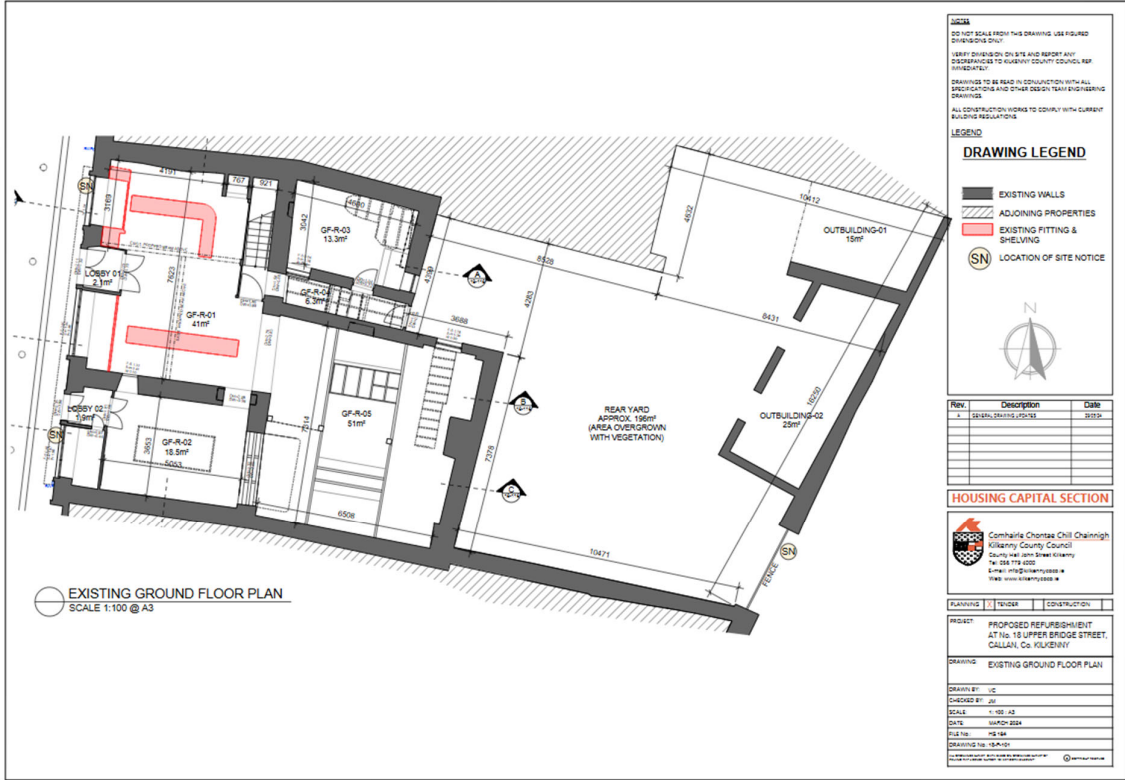
AERIAL VIEW SHOWING EXTENT OF SITE OF BOTH BUILDINGS, POWERS IN RED, LYNCHS IN BLUE



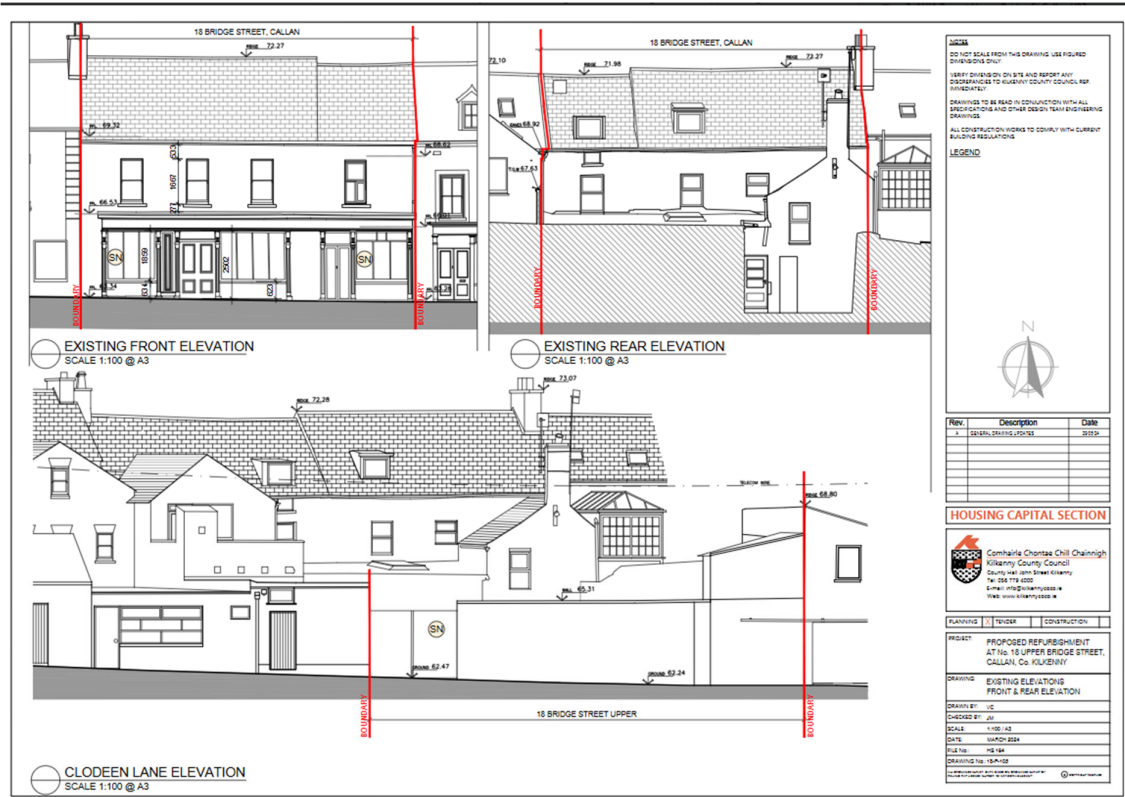
AERIAL VIEW FROM REAR SHOWING EXTENT OF SITE OF BOTH BUILDINGS, POWERS IN RED, LYNCHS IN BLUE

Aerial images of sites submitted

No. 18

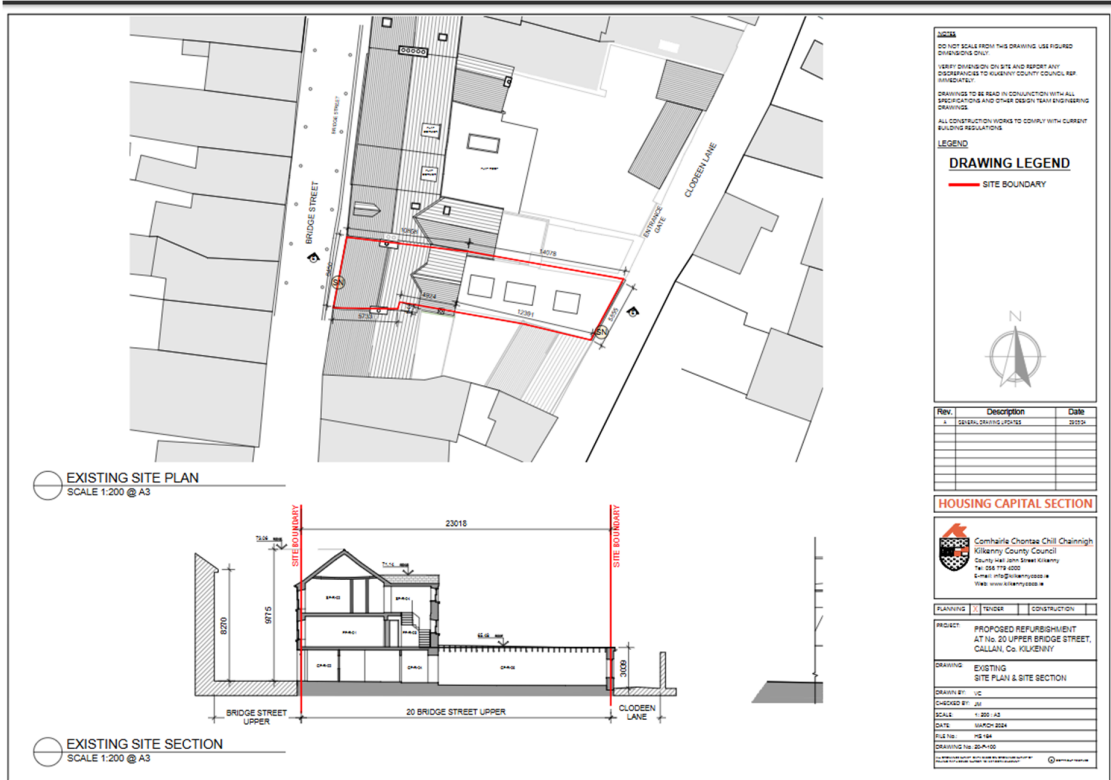


No. 18 Existing ground floor plan



No. 18 Existing elevations

No. 20



No. 20 Existing ground floor plan



No. 20 Existing elevations

Policy

The sites are located with the development boundary for Callan as per the current Callan Local Area Plan, and are both zoned for “General Business”, with the objective “to allow a flexible approach to development that supports the vitality and viability of the town centre”.

Site History

No. 20 - no recent on-site history.

No. 18:

98/1205– Permission granted to convert three-storey residence with former electrical shop.

99/1542 – Permission granted to demolish part of existing factory building and construction of two no. 2-storey, semi-detached town houses in its place, for the conversion of existing cart house building to 2 storey dwelling house at rear of former O'Regan Electrical Shop.

Third Party Submissions

Two third party submissions have been received in relation to the proposed development, and the planning issues raised therein have been taken into account in the assessment of this application. Issues raised include concerns regarding retention of business uses at ground floor, and impacts on residential amenity.

Following receipt of third party submissions, the Housing Section have submitted a “Shadow Study” which concludes that “the proposed development works at No. 20 Upper Bridge Street, Callan will cause no additional overshadowing to the rear courtyard at No. 21 Upper Bridge Street, Callan”.

Proposed Development

As per the site notices the proposed development would consist of the following:

18 Upper Bridge Street:

- 1.The re-instatement of an original carriageway to provide pedestrian access to Clodeen Lane from Upr Bridge St.
2. The conversion of the upper floors of no. 18 to 2 no. 1 bedroom apartments with new shared access, demolition of 60m² of ground floor accommodation, demolition of concrete rear sheds (40m²) and construction of new extension of 42.5m²,
- 3.Ground floor use to remain as General Business.

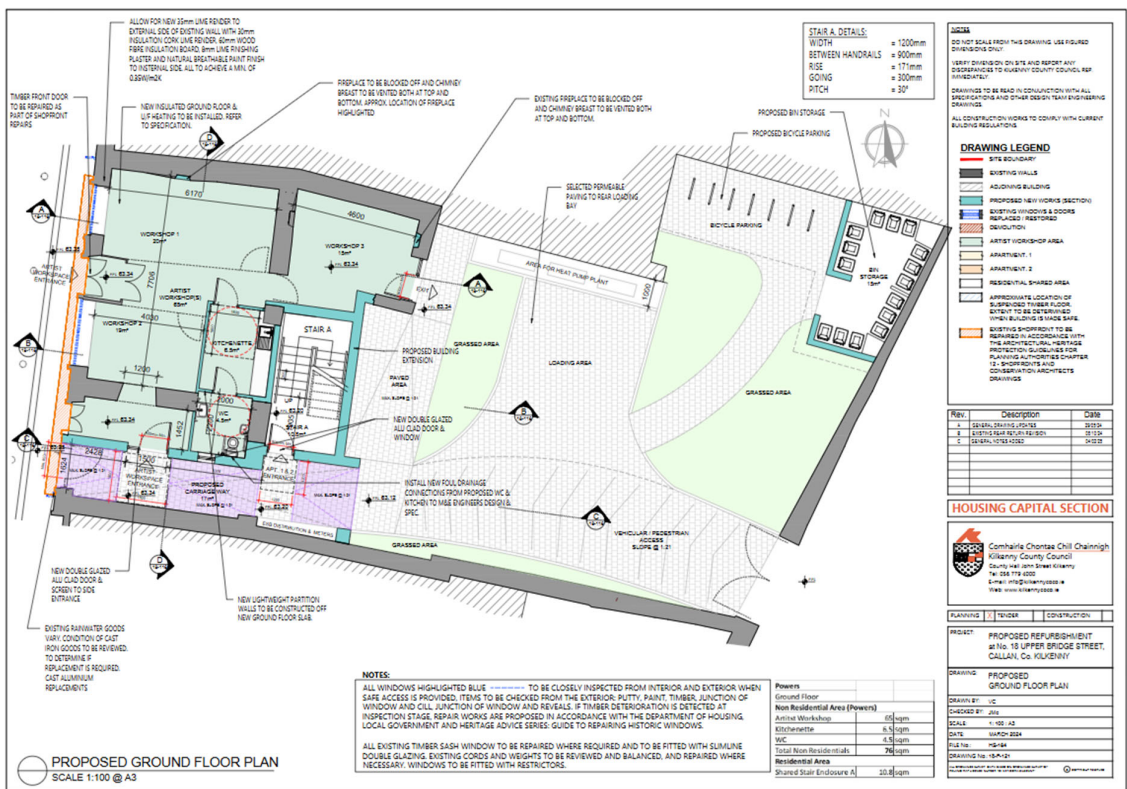
20 Upper Bridge Street:

- 4.Demolition of 65m² existing single storey modern extension to the rear, construction of a new extension of 36m² to the building to allow the conversion of the upper floors of no. 20 to 2 no. 1 bedroom apartments with new shared access.
- 5.Ground floor use to remain as General Business.

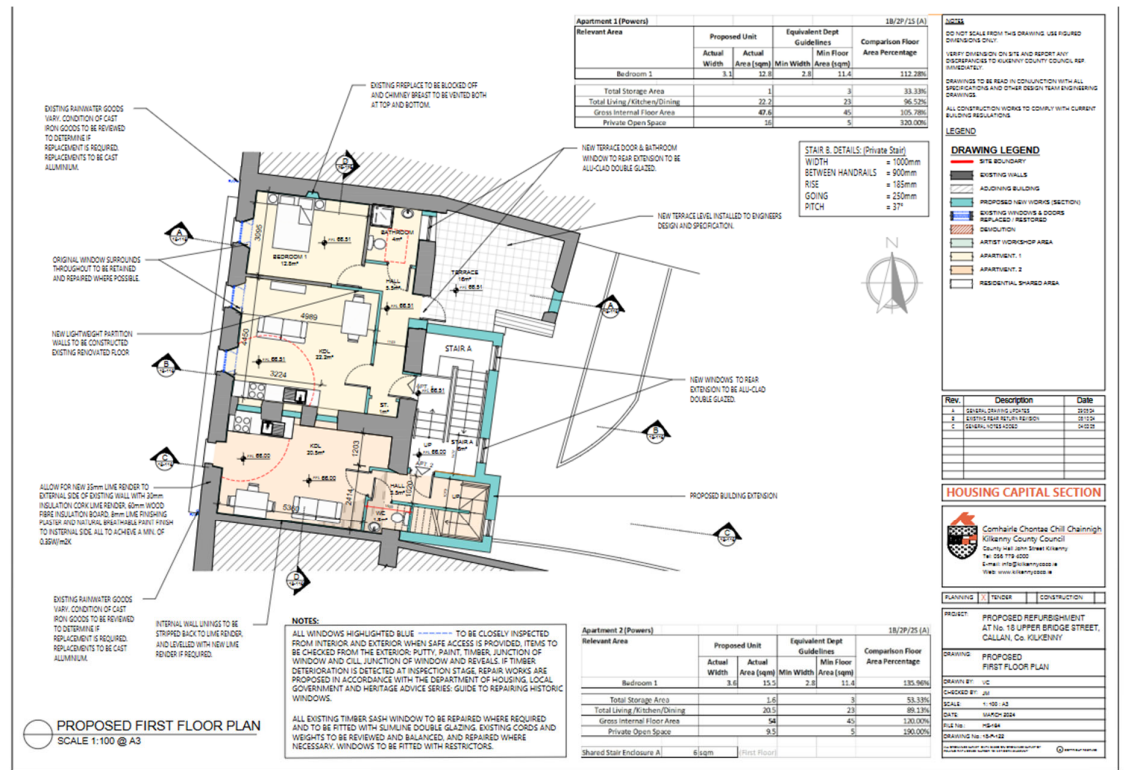
Works will also include full refurbishment and conservation works to the interiors and exteriors of both 18 & 20, and all associated site development works.

Number 18 (RPS reference C30, 12314049 NIAH reference) and number 20 (RPS reference C799, 12314051 NIAH Reference) are both on the Record of Protected Structures and located in the Callan ACA.

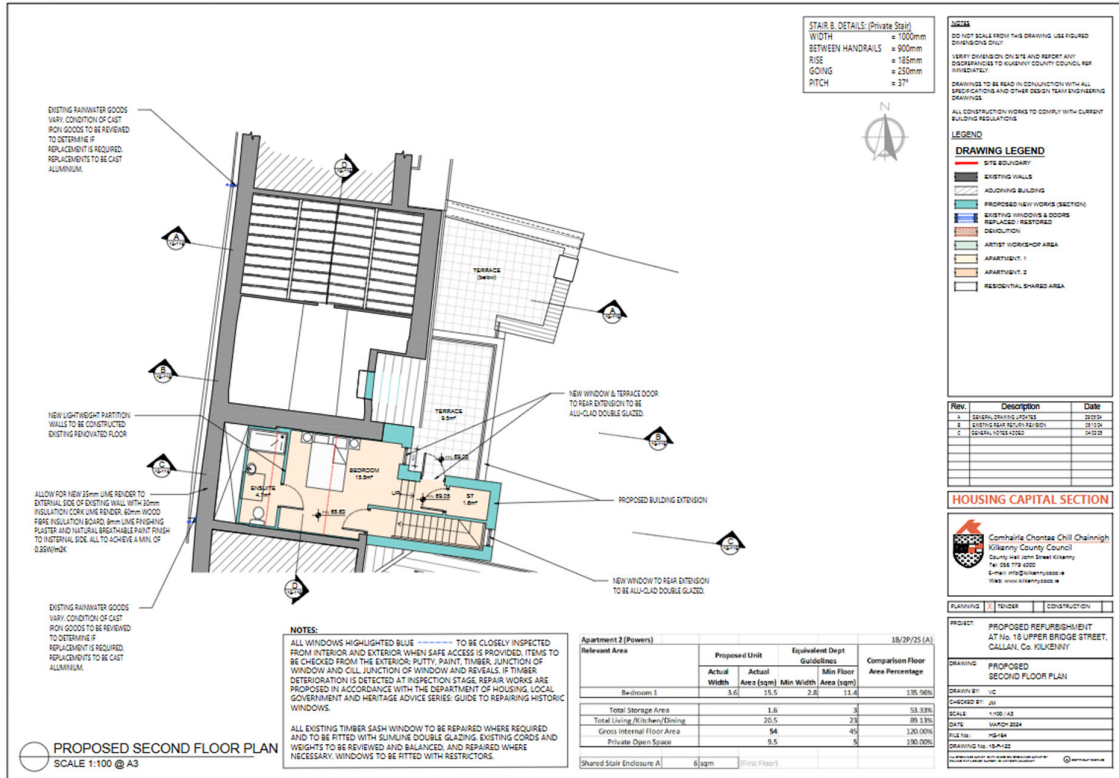
No. 18



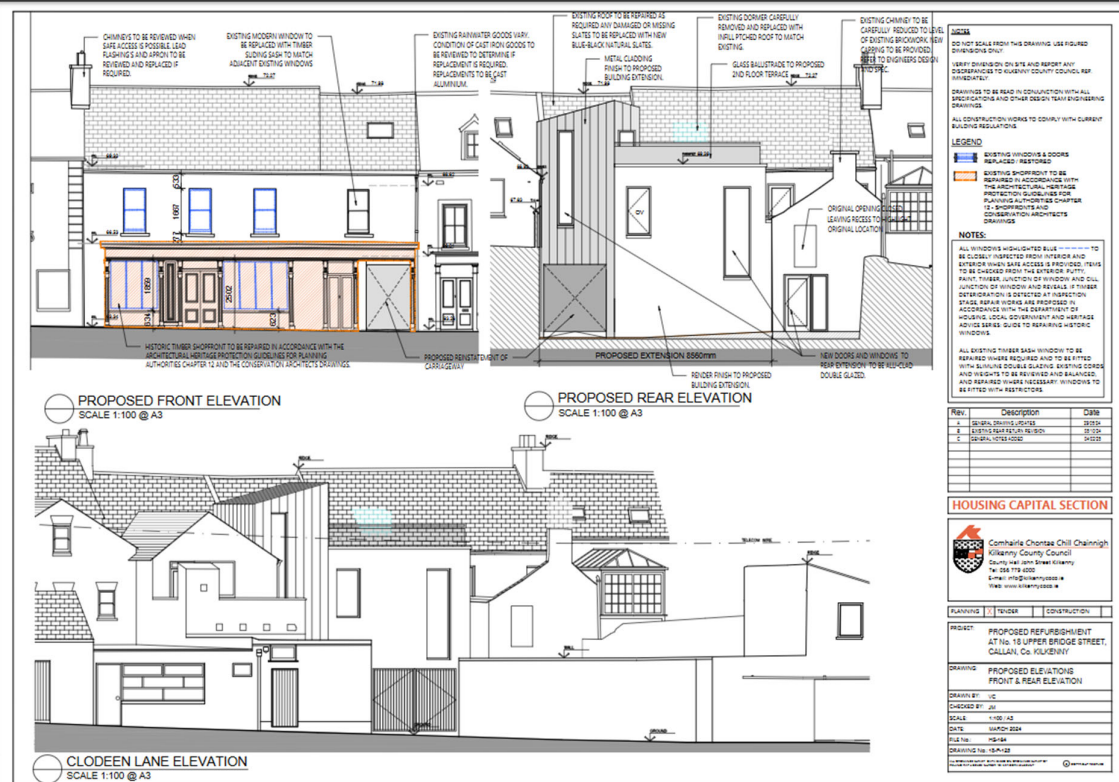
No. 18 Proposed ground floor plan



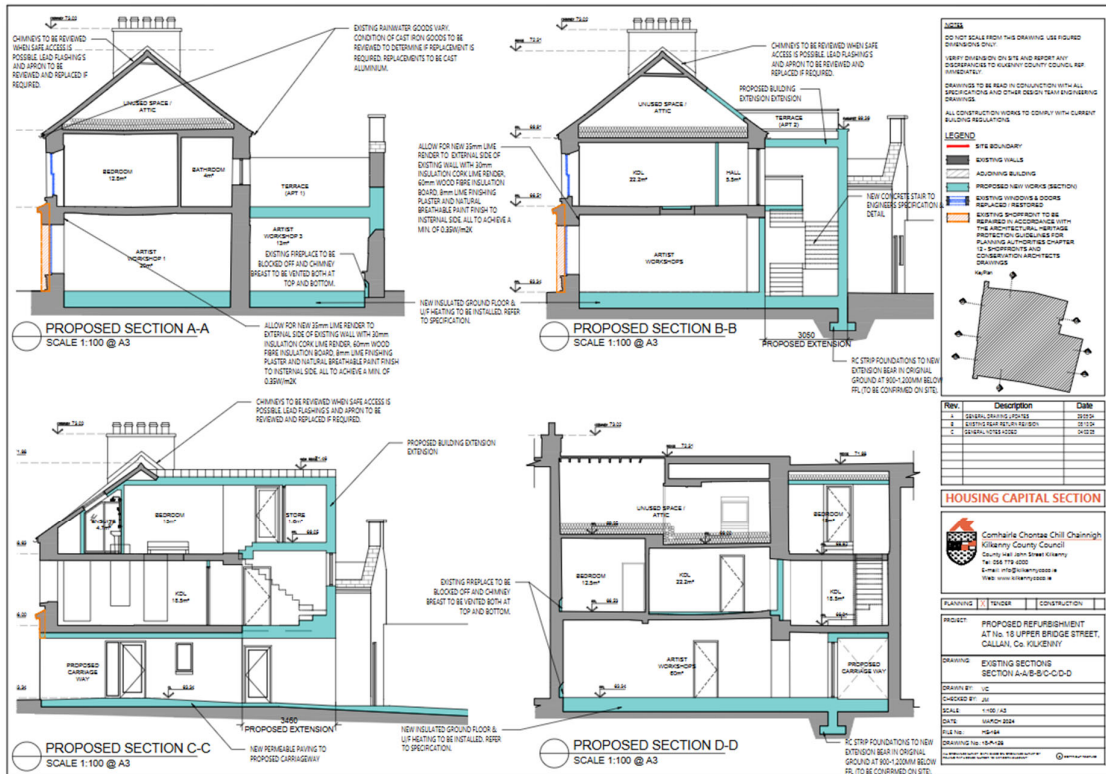
No. 18 Proposed first floor plan



No. 18 Proposed second floor plan

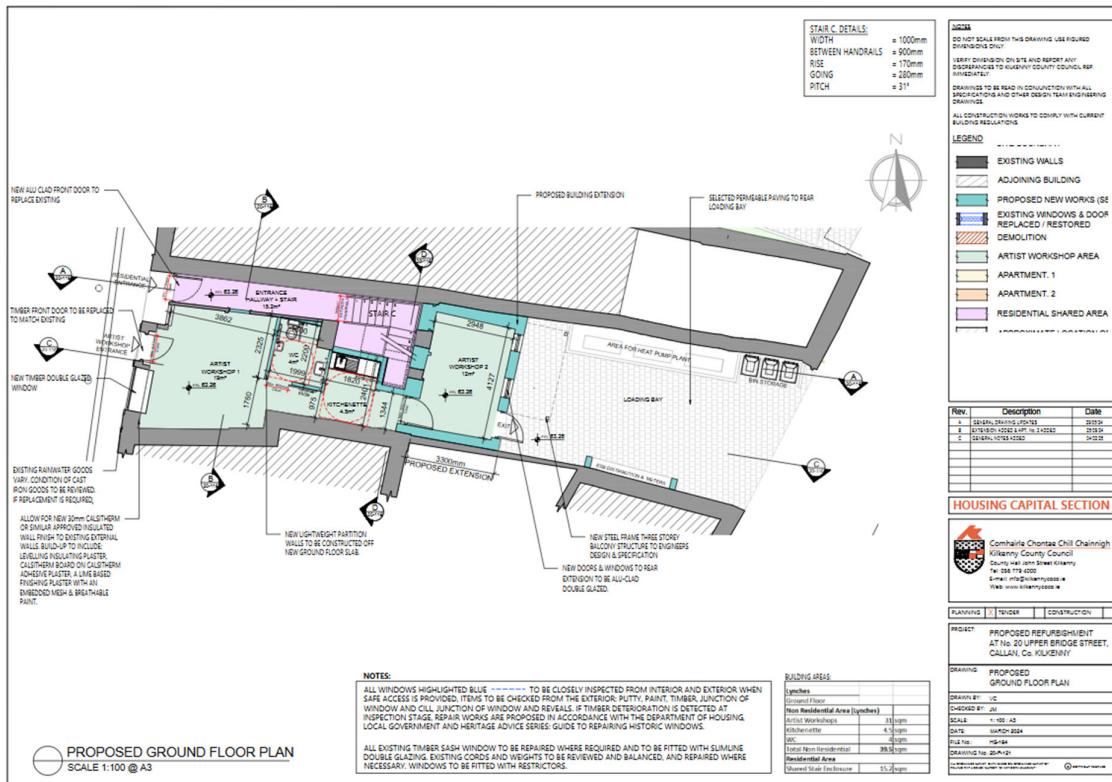


No. 18 Proposed Elevations

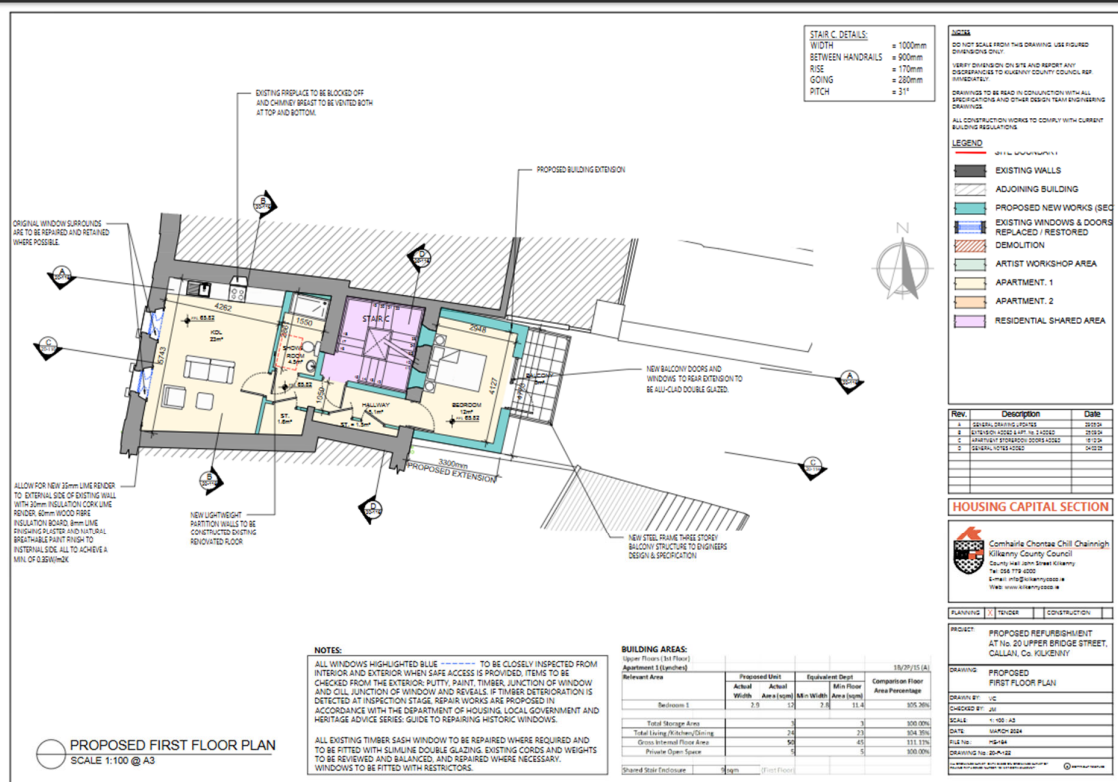


No. 18 Proposed sections

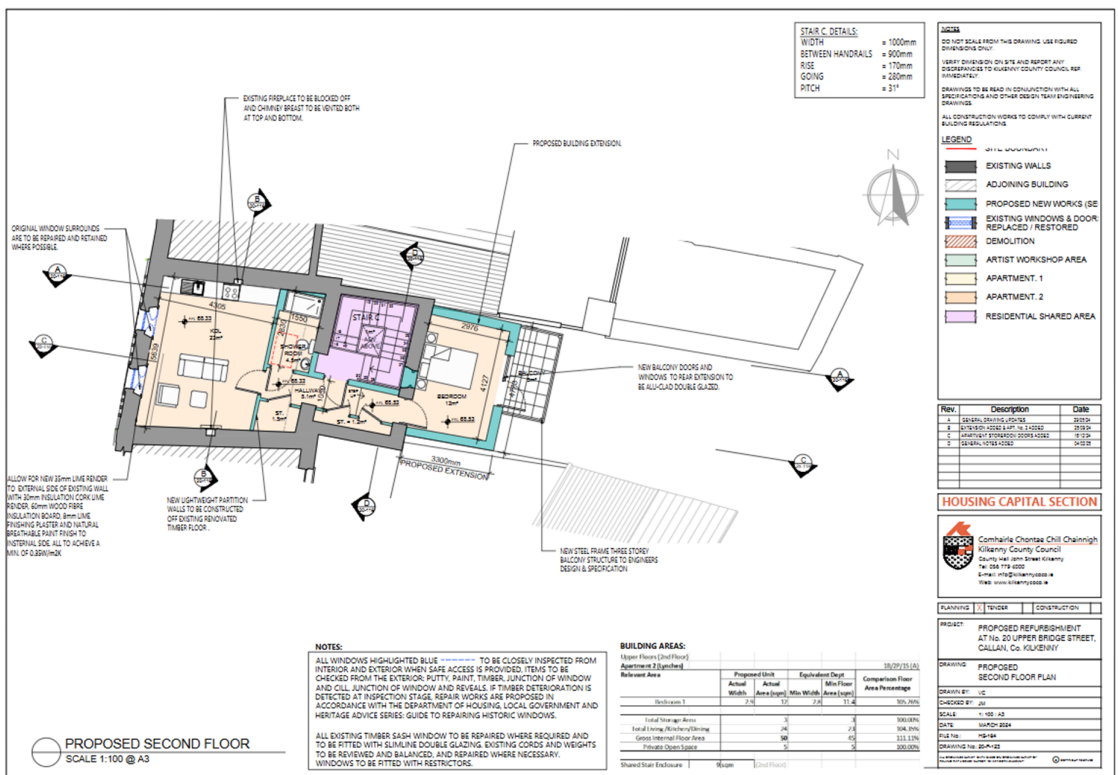
No. 20



No. 20 Proposed ground floor plan



No. 20 Proposed first floor plan



No. 20 Proposed second floor plan

Conservation Officer

The report received states as follows:

The two buildings and their respective sites, have been vacant for a number of years, and deterioration of the fabric has taken place in both. They have been inspected many times over the last number of years, and as recently as the 19th June 2025.

The PDS for both buildings contains protected structures, NIAH listed buildings and are within the historic town of Callan and Callan ACA. The proposal is accompanied by an Archaeological Desktop assessment, and an AHIA compiled by a Grade 1 Conservation Architect. The submission booklet states 'The intention is to bring back living "over the shop", by creating independent apartments over a ground level commercial space. It is proposed to retain the shop area for retail or community use, providing a shell and core for a future tenant on the ground floor'.

18 Upper Bridge Street (R95 H9W0)

No 18 Upper Bridge Street is a protected structure, ref C 30, listed on the NIAH ref 12314049 and is within the Callan ACA, and historic town. As per NIAH record, the building is recognised for its artistic and architectural significance, and is dated to approximately the late 18th century. The record includes the following:

Terraced four-bay two-storey house with dormer attic, c.1800. Extensively renovated, c.1875, with shopfront inserted to ground floor. Part refenestrated. Now disused to ground floor. Pitched slate roof with clay ridge tiles, red brick irregular bond chimney stack, flat roof to dormer attic window to rear (east) pitch, and cast-iron rainwater goods on rendered eaves. Painted rendered, ruled and lined walls. Square-headed window openings with cut-stone sills, and replacement one-over-one timber sash windows, c.1875, having one replacement uPVC casement windows to right first floor. Timber shopfront, c.1875, to ground floor with panelled pilasters having decorative consoles, fixed-pane (three- and four-light) timber display windows, timber panelled double doors having overlight, and fascia having cornice. Interior with timber panelled shutters to window openings. Road fronted with concrete footpath to front.

The submission includes:

It is also proposed to reinstate the original carriageway to provide a pedestrian link and improved permeability with Clodeen Lane to the rear. The original carriageway was closed to allow an extension to the shop, possibly c. 1875 when the shop was renovated or c. 1920s-1940s when a new unifying shopfront was introduced. This reinstatement of the carriageway follows the Bridge Street Master-plan from the Local Area Plan of increased permeability and safer pedestrian and cycle routes through the town

It is proposed to demolish an existing modern single storey extension, along with modern outbuildings at the rear, and to construct a new extension to facilitate a stairwell to serve the upper floors of the building, minimising invasive works within the older part of the building.

The new apartments will have a shared stairwell, accessed via the reinstated carriageway. Both proposed apartments are 1-bedroom. The commercial unit on the ground floor will retain the original front door of the property, and provide a new door from the carriageway to allow a more accessible entrance to the ground floor, without requiring alterations to the original doors, which are not compliant with modern opening widths

- *The reinstatement of an original carriageway to provide pedestrian access to Clodeen Lane from Upper Bridge St.*

ACO response: The AHIA has been compiled by a Grade 1 Conservation Architect, and indicates, that while the shopfront dates to the late 19th century, an original carriageway was built in to extend the façade of the shopfront probably between 1920 - 1940. The later addition is evident from onsite investigation of the materials and finishes of both. The window will be removed leaving the current door and entablature in place. The reinstatement of the original carriage is deemed appropriate.

- *The conversion of the upper floors of no. 18 to 2 no. 1 bedroom apartments with new shared access, demolition of 60m² of ground floor accommodation, demolition of concrete rear sheds (40m²) and construction of new extension of 42.5m²,*

ACO Response: The AHIA includes 'The interior contains well detailed early twentieth century joinery within the (now vacant) shop unit, with surviving architectural features of interest on the upper floor'.

'The interior of the ground floor retail unit contains some well-crafted joinery, including the draft lobby and reconfigured shop counter. Features of interest at first floor level include plaster and lathe ceilings, panelled timber doors, skirting boards and architraves, and panelled timber surrounds to the front windows. These features are significant survivals and add to the interest of the building. The modern partitions, which subdivide larger rooms, and later staircases from first floor to attic level are of no interest or heritage value.'

The proposed development includes for the removal of select elements: the roof of rear return, section of rear roof pitch (for construction of new extension), yard sheds, modern extension to the rear, select late partitions, stairs, select new opening in walls, closing of select windows in rear elevation, reduction of chimney stack in rear return gable wall.

Two workshops are proposed for the ground floor former retail area. The timber lobby is shown to be retained. The AHIA states

the sheeted timber counter within the retail space is to be relocated as part of the refurbishment of the retail space. This counter, which has previously been modified, will be altered to fit its new location and repaired by experienced conservation joiners.

As architectural fixtures within the protected structure which also have a social importance, it is recommended that these counters are conserved and retained in a suitable location of the development site.

A new floor is called up for the ground floor, where possible, sound floorboards shall be retained.

The rear return of the building will be modified to have current window opes blocked up, a new ope created, and, an extension built on to the current masonry gable. The retention of the current gable is welcome, while the new addition shall be read by a contrasting material to the current masonry.

The AHIA states – 'the stone rubble wall onto Clodeen Lane, to the rear (east) of the site, is an important survival of likely early-nineteenth century date. It is one of the most intact sections of stone rubble wall on the laneway'. Therefore, supervision of demolition of rear sheds are required, while it is advised that conservation works also be undertaken on these early boundary masonry wall.

All new slate to be agreed with planning.

Methodology and specification for repair of shopfront, window, door and counter joinery, to be compiled by the conservation architect and submitted for agreement.

- *Ground floor use to remain as General Business – this is welcome as it shows a level of continuity in the original use of the premises.*

No 20 Upper Bridge Street (R95 T274):

No 20 Upper Bridge Street is a protected structure, ref C C799, listed on the NIAH ref, 12314051 and is within the Callan ACA, and historic town. As per NIAH record, the building is recognised for its artistic and architectural significance, and is dated to approximately the mid-19th century. The record includes the following:

Terraced two-bay three-storey house, c.1850, incorporating fabric of earlier house, c.1750, with square-headed carriageway to left ground floor, and three-bay two-storey return with half-dormer attic to east. Renovated, c.1975, with openings to ground floor remodelled to accommodate commercial use. Reroofed. Now disused. Pitched roofs with replacement artificial slate, clay ridge tiles, rendered chimney stacks, and iron rainwater goods on rendered red brick eaves having consoles. Painted rendered, ruled and lined walls over random rubble stone construction with rendered channelled piers to ends, and unpainted roughcast walls to return. Square-headed window openings with rendered sills, rendered fluted pilaster surrounds having consoles supporting entablatures, concealed red brick block-and-start surrounds to return, and one-over-one timber sash windows. Square-headed openings to ground floor remodelled, c.1975, with fixed-pane timber window on red brick Running bond stall riser, and glazed timber panelled door having overlight. Square-headed carriageway to left ground floor remodelled, c.1975, with fixed-pane timber window on red brick Running bond stall riser, and glazed timber panelled door having overlight. Interior with timber panelled shutters to window openings. Road fronted with concrete brick cobbled footpath to front.

- *Ground floor use to remain as General Business*

The continued commercial / general business use is welcome.

The submission states

'No. 20 Upper Bridge Street is significantly smaller than Powers in width. The ground floor was in use most recently as a pub, and many locals have memories of being taught music there.. It has a large single storey extension ca. 1950s covering the entire plot, which was the lounge area for the pub. Removing this single storey poorly built modern extension is proposed, which will allow external space on the plot.

While the original building at Lynch's has a smaller footprint than Powers, it was built originally as a 3 storey building. It is intended to create 2 no. 1-bedroom apartments with a shared access from the front, over a retail/commercial unit. Access to the apartments is directly from Upper Bridge Street, via the route of the former corridor to the Lounge. Access to the commercial unit is also from Upper Bridge Street, with a potential for rear access also. '

- *Demolition of 65m2 existing single storey modern extension to the rear, construction of a new extension of 36m2 to the building to allow the conversion of the upper floors of no. 20 to 2 no. 1 bedroom apartments with new shared access*

ACO Response: the removal of the stairs, especially the upper sections of the stairs is unfortunate. One of the mitigation measures is that good sound timber from the original stairs could be incorporated into the new stairs. The timbers in the landing also appears to be early timbers, these too shall be retained.

Windows are to be repaired and retrofitted with slim line double glazing, window architraves and joinery is to be reused.

Archaeology

An Archaeological Desktop Assessment has been submitted. The assessment concludes: 'Subject to the nature and extent of development excavations, it may be possible to subject such excavations to archaeological monitoring, under licence to the National Monuments Service, to address the archaeological potential at both properties. It is possible there may be post-medieval or early modern in-fill at the properties, particularly at No. 18, where a level building platform has been created, which may cover any potential medieval remains.'

As the development is within the historic town of Callan, ground disturbance shall be monitored under licence from the National Monument Service

[Conservation Officer] Recommendation

I have the following comments:

- *Mitigation measures in the following sections of the AHIA shall be adhered to in full:*
 - o *No. 18 Upper Bridge Street Powers: Power 6.1, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8, 6.9*
 - o *No. 20 Upper Bridge Street, LYNCH'S' OR 'UÍ LOINSIG: 7.1, 7.3, 7.4, 7.5.*
- *A new floor is called up for the ground floor of No. 18, the current floorboards shall be assessed, with sound timber floorboards being retained for reuse.*
- *The counter in No 18 is an important architectural and social interest fixture of the protected structure, therefore, it is recommended that it be conserved and retained in a suitable location of the development site. Proposal for same shall be presented to the Planning Department for review.*
- *The AHIA states – 'the stone rubble wall onto Clodeen Lane, to the rear (east) of the site, is an important survival of likely early-nineteenth century date. It is one of the most intact sections of stone rubble wall on the laneway'. Therefore, conservation supervision for the demolition of rear shed is required, while it is advised that conservation works also be undertaken on these early boundary masonry walls.*
- *All new slate proposed to be agreed with the Planning Department of Kilkenny County Council.*
- *Repair methodology and specification for shopfront, windows, doors and counter joinery, to be compiled by the conservation architect and submitted do the Planning Department of Kilkenny County Council for agreement.*
- *The development is within the historic town of Callan, therefore, ground disturbance shall be monitored under licence from the National Monument Service*

Department of Heritage

The report received states as follows:

It is noted that the proposed development site is within for the zone of notification for the following recorded monument that is subject to statutory protection in the Record of Monuments and Places (RMP) established under section 12 of the National Monuments (Amendment) Act 1930-2014: KK026-010--- Historic town.

It is possible that hitherto previously unknown archaeological features/deposits associated with this monument may be disturbed during the course of groundworks required for the proposed development.

The Department is in receipt of a report titled 'Archaeological Desktop Assessment Nos. 18 & 20 Upper Bridge Street Callan, Co. Kilkenny' by Ms Marion Sutton of Shanarc Archaeology Ltd.

According to the report, it is likely that the building or structural fabric at Nos. 18 and 20 Upper Bridge Street is post-medieval in date. The origin of the fabric at both properties can, however, only be determined by a built heritage survey, involving the select removal of render to examine structural phasing and possibly test-pits excavated at the base of select walls. It is recommended that the refurbishment approach in the first instance be preservation in-situ of the limestone fabric at both properties, inclusive of limestone fabric in the curtilage of both properties (i.e. boundary walls; early outbuilding remains abutting Clodeen Lane at No. 18).

According to the report, new ground floor slabs are to be provided to both properties, and rear extensions will be demolished and re-built, requiring excavations; ancillary service trenches are also likely. Both properties have the potential to yield sub-surface evidence of medieval and early post-medieval date including possible evidence of garden soils, burgage boundaries or earlier structures. It is recommended that groundwork excavations be subject to archaeological monitoring, under licence to the National Monuments Service of the Department.

The Department agrees with these recommendations.

Therefore, the Department, in line with national policy —see Section 3.7 of Frameworks and Principles for the Protection of the Archaeological Heritage 1999— recommends that an Archaeological Buildings Assessment and Archaeological Monitoring, as described below, should be carried out under a Section 14 National Monuments Act 1930 Ministerial Consent at the Part 8 development.

A report containing the results of the buildings assessment and the archaeological monitoring and any subsequent required archaeological work should be submitted to the National Monuments Service of the Department and the Planning Authority.

Recommended Archaeological Mitigation

1. Archaeological monitoring of the proposed refurbishment and conservation works to the interiors and exteriors of both 18 and 20 shall be undertaken as follows:

a. A suitably qualified and experienced buildings archaeologist shall be engaged to monitor (licensed under the National Monuments Acts) all the proposed works to the interiors and exteriors of both 18 and 20. The use of appropriate machinery/tools to ensure the identification, preservation and recording of any surviving archaeological remains

shall be necessary. No works shall take place in the absence of the archaeologist without his/her express consent.

b. Archaeological monitoring of all invasive works (including raking out) to the upstanding historic building/structure shall be undertaken in order to facilitate further buildings archaeology investigations and detailed recording (equivalent to Level 3 of the Historic England (2016) guidelines 'Understanding Historic Buildings: A Guide to Good Recording Practice' to augment the archaeological record and document all conservation interventions. In this regard, it is critical that the monitoring archaeologist is facilitated on an ongoing basis to investigate and record fabric that has been exposed as a result of raking-out of mortars, opening-up works, and/or the removal of renders or vegetation.

c. The archaeological monitoring works shall include a Finds Retrieval Strategy that includes the hand searching and metal detection for archaeological objects by an experienced detectorist operating under a Section 2 1987 National Monuments Act Detection Device consent. Secure finds storage that ensures the protection and conservation of finds, carved stones and human skeletal remains, shall be provided.

d. Should archaeological remains be identified during the course of archaeological monitoring, the monitoring archaeologist shall be authorised to suspend all works in the area of archaeological interest, pending a decision of the National Monuments Service of the Department regarding appropriate mitigation (which may include preservation in-situ/preservation by record/test-excavations/monitoring/re-design). The archaeologist shall be facilitated to investigate and record any material found to enable further mitigation proposals to be formulated. Any additional mitigation measures shall be included within an amended Method Statement that shall require the formal approval of the National Monuments Service of the Department.

e. Following the completion of all archaeological works on site and any necessary post-excavation specialist analysis, the National Monuments Service of the Department shall be furnished with a final archaeological report, to publication standard, to include:

- The results of the monitoring, and any subsequent required archaeological works and post excavation analysis.*
- A final interpretative phasing of the building/structure that includes, at a minimum, plan and elevation drawings marked up with colour-coded phases and with any identified architectural features, masonry breaks, historic repairs, and reincorporated carved stones.*
- A written account of the building's/structure's overall form (structure, materials, layout) and of its successive phases of development, together with the evidence, and drawn and photographic records, supporting this analysis.*
- The results of any subsequent archaeological investigative works and/or monitoring following the completion of all archaeological work on site and the completion of any required post-excavation work, including third-party specialist reports on archaeological objects, scientific dating, mortar analysis.*
- Recommendations for further archaeological mitigation measures that prioritise preservation in situ and that may include further buildings archaeology investigations, targeted licensed archaeological excavations aimed at securing a greater understanding of the structure, archaeological test excavations, archaeological monitoring, conservation, interpretation works and re-design, shall be made in the report.*

2. Archaeological monitoring of the proposed development works shall be undertaken as follows:

a. The developer shall engage a suitably qualified archaeologist to monitor (licensed under the National Monuments Acts) all site clearance works, topsoil stripping, groundworks and/or the implementation of agreed preservation in-situ measures associated with the development. The use of appropriate machinery to ensure the preservation and recording of any surviving archaeological remains shall be necessary.

b. Should archaeological remains be identified during the course of archaeological monitoring, all works shall cease in the area of archaeological interest pending a decision of the planning authority, in consultation with the National Monuments Service of the Department, regarding appropriate mitigation.

c. The developer shall facilitate the archaeologist in recording any remains identified. Any further archaeological mitigation requirements specified by the planning authority, following consultation with the National Monuments Service of the Department, shall be complied with by the developer.

d. Following the completion of all archaeological work on site and any necessary post-excavation specialist analysis, the planning authority and the National Monuments Service of the Department shall be furnished with a final archaeological report describing the results of the monitoring and any subsequent required archaeological investigative work/excavation required. All resulting and associated archaeological costs shall be borne by the developer.

Reason: To ensure the continued preservation (either in situ or by record) of places, caves, sites, features or other objects of archaeological interest.

Uisce Éireann

The report received states as follows:

The applicant shall enter into a Connection Agreement(s) with Uisce Éireann to provide for a service connection(s) to the public water supply and/or wastewater collection network and adhere to the standards and conditions set out in that agreement.

All development shall be carried out in compliance with Uisce Éireann's Standard Details and Codes of Practice.

Uisce Éireann does not permit Build Over of its assets. Where the applicant proposes to build over or divert existing water or wastewater services the applicant shall have received written Confirmation of Feasibility (COF) of Diversion(s) from Uisce Éireann prior to any works commencing.

Reason: To provide adequate water and wastewater facilities.

Appropriate Assessment

A Screening exercise was completed, which showed that no significant environmental impact is likely on any Natura 2000 site.

Environmental Impact Assessment (EIA)

A preliminary examination of the nature, size and location of the proposed development has been carried out which determines that there is no real likelihood of significant effects on the

environment arising from the proposed development. It is therefore concluded that an Environmental Impact Assessment Report (EIAR) is not required.

Flood Risk

The site is located within an identified flood risk area as per the OPW flood maps. The application documents include “Feasibility Stage Site Specific Flood Risk Assessments” for No. 18 and No. 20 dated September 2023 which appear to relate to an earlier development proposal that included residential uses at ground floor. The Feasibility Stage Site Specific Flood Risk Assessments note that the sites are located within Flood Zones A and B, and set out items to be addressed with particular regard to No. 18. The include “Feasibility Stage Site Specific Flood Risk Assessments” states in relation to site No. 18 that the site “falls within a predictive present-day scenario Flood Zone ‘B’ and mid-range future climate change scenario Flood Zone ‘A’ and Flood Zone ‘B’”, and in relation to No. 20. that the site “falls within a predictive present day scenario Flood Zone ‘B’ and mid-range future climate change scenario Flood Zone ‘B’”.

It appears that the current development proposals have been amended to take account of recommendations in the “Feasibility Stage Site Specific Flood Risk Assessments”.

An updated Site-Specific Flood Risk Assessment does not appear to have been included with the application documents.

In relation to the existing buildings at No. 18 and No. 20, and the proposed works, the following is noted:

The current development proposal does not include any proposed residential uses at ground floor, with the exception of access stairs to first and second floor apartments.

“General Business” uses are proposed to continue on the ground floors of Nos. 18 and Nos. 20.

There is no proposed increase in the footprint of the buildings at Nos. 18 and 20; a decrease in the buildings footprints is proposed on both sites with permeable paving proposed in the outdoor spaces and circulation areas for both sites.

A review of the existing floor plans found:

- No. 18: a total of seven residential rooms in addition to a bathroom above ground floor
- No. 20: a total of five residential rooms in addition to a bathroom above ground floor
- Allowing for a separate kitchen and living room in both units, the existing floor plans may accommodate 10 bedrooms overall. The proposed development is for four two-bedroom apartments, with a maximum number of four bedrooms; therefore, it would appear that the population equivalent to be accommodated within both buildings would be reduced.

Flood Risk Management Guidelines for Planning Authorities

The Flood Risk Management Guidelines for Planning Authorities, November 2009, classifies in Table 3.1 residential as a “highly vulnerable” use, and “buildings used for: retail, leisure, warehousing, commercial, industrial and non-residential institutions” as “less vulnerable development”. Table 3.2 sets out the matrix of vulnerability versus flood zone.

	Flood Zone A	Flood Zone B	Flood Zone C
Highly vulnerable development (including essential infrastructure)	Justification Test	Justification Test	Appropriate
Less vulnerable development	Justification Test	Appropriate	Appropriate
Water-compatible development	Appropriate	Appropriate	Appropriate

Table 3.2: Matrix of vulnerability versus flood zone to illustrate appropriate development and that required to meet the Justification Test.

The application of the Justification Test in development management is set out in Section 5 of the guidelines. “Assessment of minor proposals in areas of flood risk” is set out in section 5.28 of the guidelines; however, Circular PL 2/2014 revises section 5.28 of the guidelines and states as follows (emphasis added):

5.28 Applications for minor development, such as small scale infill, small extensions to houses or the rebuilding of houses, and most changes of use of existing buildings and or extensions and additions to existing commercial and industrial enterprises, are unlikely to raise significant flooding issues, unless they obstruct important flow paths, introduce a significant additional number of people into flood risk areas or entail the storage of hazardous substances. Since such applications concern existing buildings or developed areas, the sequential approach cannot be used to locate them in lower-risk areas and the Justification Test will not apply. However, a commensurate assessment of the risks of flooding should accompany such applications to demonstrate that they would not have adverse impacts or impede access to a watercourse, floodplain or flood protection and management facilities. These proposals should follow best practice in the management of health and safety for users and residents of the proposal

- Although currently vacant, there are existing buildings on site with residential uses above commercial ground floor uses; these uses whilst involving renovation and alteration will not change.
- There is no increase in buildings footprints on the sites. The proposals will reduce the buildings’ footprints, and propose permeable paving on newly open area of yards/ open space.
- Whilst the residential units will increase from two residential units to four residential units, the overall number of bed spaces will substantially be reduced.

Having regard to the guidelines, and section 5.28 the proposed developments would appear to be considered as a small-scale infill minor development, which does not introduce a significant additional number of people and is unlikely to obstruct important flow paths. Since this application concerns existing buildings or developed areas, the sequential approach cannot be used to locate them in lower-risk areas and the Justification Test will not apply.

In the interests of proper planning and sustainable development prior to the commencement of any works on site, the proposing section shall commission an independent Site Specific Flood

Risk Assessment for the proposed development as per the documents submitted with this application. Any recommendations, or mitigation measures in the Site Specific Flood Risk Assessment shall be strictly adhered to by the proposing section.

Observations

- (a) It appears that the storage areas, and the kitchen/ living dining areas for both apartments at No. 18 would be below the department guidelines; however, the overall floor areas of the apartments would exceed the required minimum floor areas and may compensate with additional overall floor area, and additional private open space designations. Where feasible, the storage areas within all apartments should meet the minimum guideline requirements.
- (b) At No. 18 in relation to the terrace on the second floor serving 'apartment 2', a privacy screen should be fitted with a privacy screen to ensure that there is no loss of residential amenity for the property to the north, and also for the terrace at first floor level serving 'apartment 1'. The first and second floor balconies serving the apartments of No. 20 should be fitted with privacy screens where required on the north and south elevations to prevent overlooking of adjoining properties.
- (c) Prior to the commencement of development, the proposing section should agree, (i) a Construction and Environmental Management Plan, and a Demolition and Waste Management Plan, and a (which shall include a Refurbishment, Demolition Asbestos Survey) for the construction phase of development and a Waste Management Plan for the operational stages of development with the Environment Section, and (ii) a Construction Traffic Management Plan with the Roads Section.
- (d) In the interests of proper planning and sustainable development prior to the commencement of any works on site, the proposing section shall commission an independent Site-Specific Flood Risk Assessment for the proposed development as per the documents submitted with this application. Any recommendations, or mitigation measures in the Site-Specific Flood Risk Assessment shall be strictly adhered to by the proposing section.

Conclusion and Recommendation

Having considered the documentation submitted, third party submissions, referral responses, and relevant policies I consider that the proposed development is in accordance with the proper planning and sustainable development of the area.

It is recommended that the Part 8 application for the proposed works at Nos. 18 and 20 Upper Bridge Street to consist of the following:

18 Upper Bridge Street:

- The re-instatement of an original carriageway to provide pedestrian access to Clodeen Lane from Upper Bridge St.
- The conversion of the upper floors of no. 18 to 2 no. 1 bedroom apartments with new shared access, demolition of 60m² of ground floor accommodation, demolition of concrete rear sheds (40m²) and construction of new extension of 42.5m²,
- Ground floor use to remain as General Business.

20 Upper Bridge Street:

- Demolition of 65m2 existing single storey modern extension to the rear, construction of a new extension of 36m2 to the building to allow the conversion of the upper floors of no. 20 to 2 no. 1 bedroom apartments with new shared access.
- Ground floor use to remain as General Business.
- Works will also include full refurbishment and conservation works to the interiors and exteriors of both 18 & 20, and all associated site development works.

be approved by the Council subject to (a) the drawings, documents and details submitted with this Part 8 proposal, including the Architectural Heritage Impact Assessment, and Archaeological Desktop Assessment, and (b) subject to the recommendations as per the reports of the Conservation Officer, Department of Heritage National Monuments Service, Uisce Eireann, and any report received from the Roads Design Office and Environment Section, and addressing all issues raised in the “Observations” section of this planning report.



3rd September 2025

C. Kelly, Executive Planner



04/09/'25

N. Louw, Senior Planner (Acting)

Appendix B – Drawings

NOTES

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VERIFY DIMENSION ON SITE AND REPORT ANY DISCREPANCIES TO KILKENNY COUNTY COUNCIL REP. IMMEDIATELY.
DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND OTHER DESIGN TEAM ENGINEERING DRAWINGS.
ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND:

SITE BOUNDARY ASSOCIATED WITH THIS PLANNING APPLICATION

POTENTIAL SITE COMPOUND FOR THE PROPOSED WORKS

OS REF No. 5009-07

Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

HOUSING CAPITAL SECTION



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County Hall John Street Kilkenny
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Web: www.kilkennycoco.ie

PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 18 & 20 UPR, BRIDGE ST., CALLAN, Co. KILKENNY		
DRAWING: SITE LOCATION MAP		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:1000 @ A3		
DATE: MAY 2025		
FILE No.: HS 164		
DRAWING No.: P-001		
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SITE LOCATION MAP - OS REF: KK5009-07
SCALE 1:100 @ A3

18 Upper Bridge Street, Callan.

'Powers'



Comhairle Chontae Chill Chainnigh
Kilkenny County Council

Kilkenny County Council,
Housing Capital Section,
John's Green House,
John's Green,
Kilkenny

Project No:	Project Name:	Client:	Date	Sheet No
HS164	Upper Bridge Street - Callan	Kilkenny County Council	30/05/2025	2 of 2
Project Description:				
18 & 20 Upper Bridge Street Development				

Date of Issue	Day	30									
	Month	05									
	Year	25									
Issue Type: Planning		PP									

[illegible]

Conservation Architect												
Structural Engineer												
Fire Consultant												
Services Consultant												
PSDP												
Contractor												
Legend	Preliminary (P), Feasibility (SS), Information (I), Planning Permission (PP), Retention. (R), Quotation (Q), Tender (TT), Construction Issue(CI), E-Mail (em)											

NOTES

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LEGEND

DRAWING LEGEND

- SITE BOUNDARY
- LOCATION OF SITE NOTICE



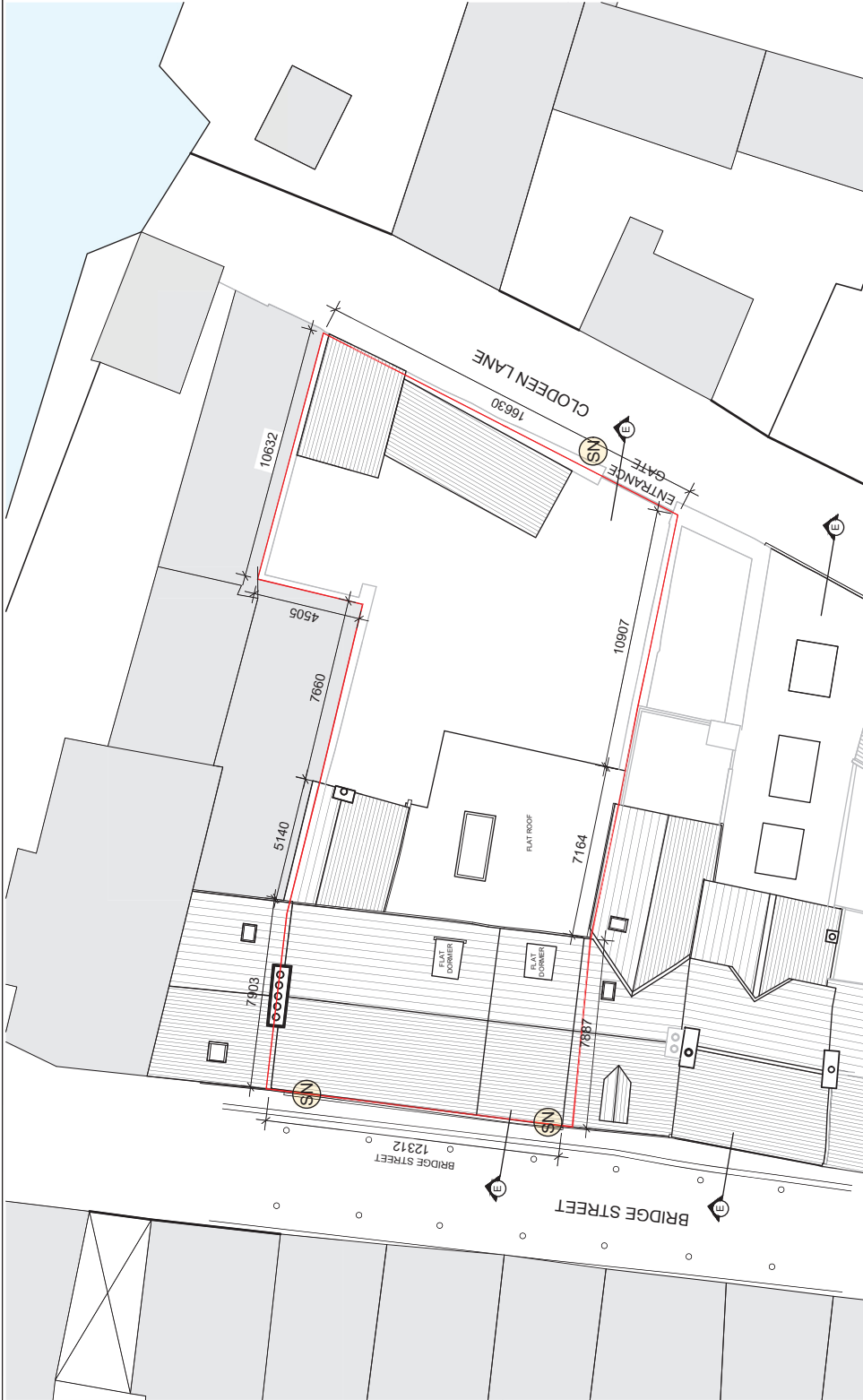
Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

HOUSING CAPITAL SECTION

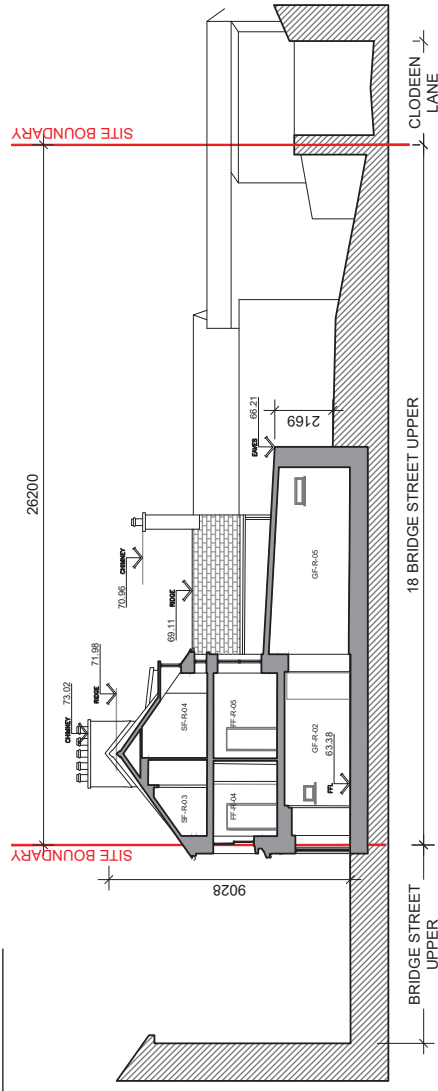


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PLANNING	☒	TENDER	☐	CONSTRUCTION	☐
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY					
DRAWING: EXISTING SITE PLAN & SITE SECTION					
DRAWN BY: VC					
CHECKED BY: JM					
SCALE: 1:200 @ A3					
DATE: MARCH 2024					
FILE No.: HS 164					
DRAWING No.: 18-P-100					
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EXISTING SITE PLAN
SCALE 1:200 @ A3



EXISTING SITE SECTION E-E
SCALE 1:200 @ A3

NOTES

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LEGEND

DRAWING LEGEND

- EXISTING WALLS
- ADJOINING PROPERTIES
- EXISTING FITTING & SHELVING
- LOCATION OF SITE NOTICE



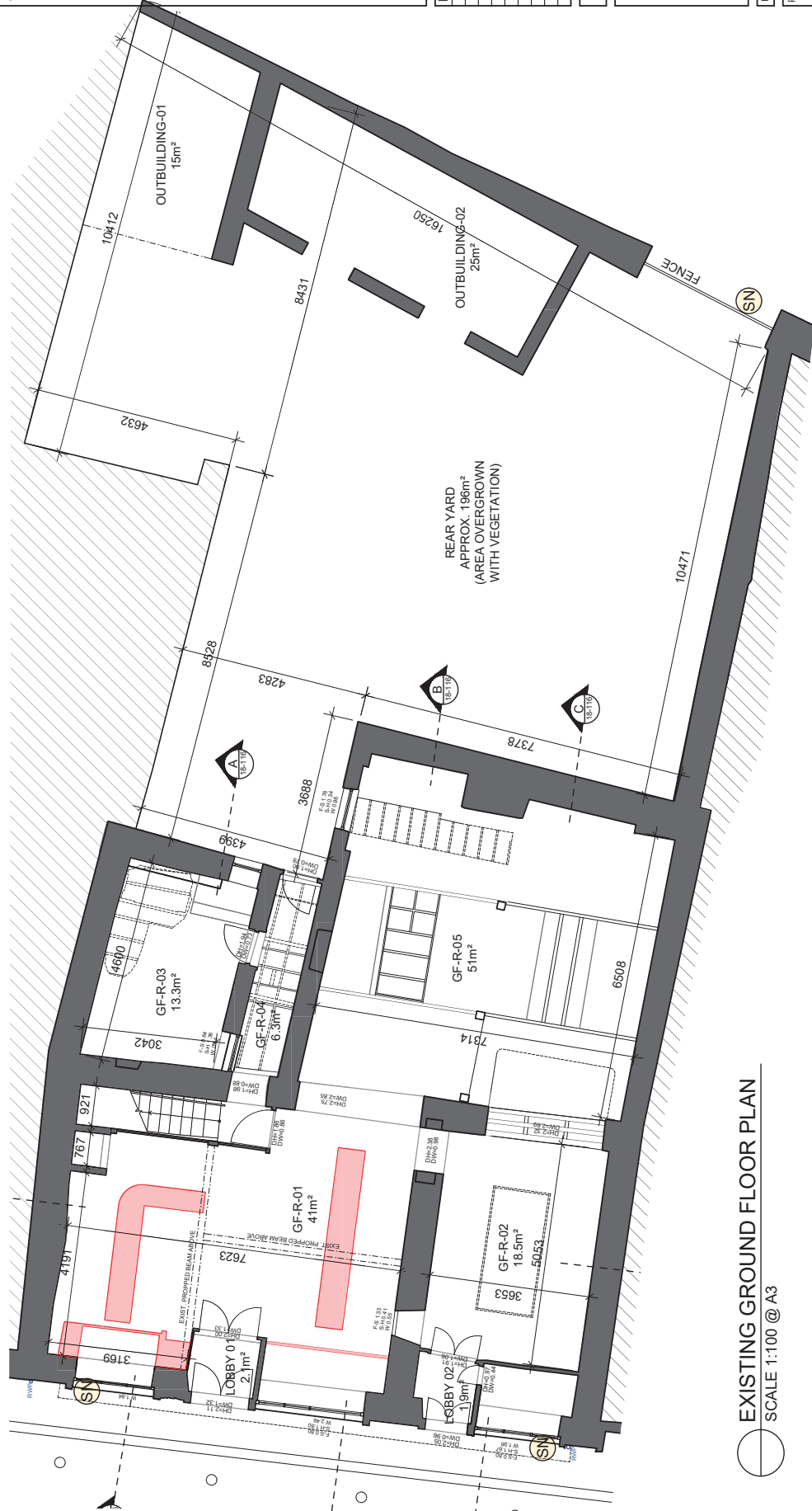
Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: EXISTING GROUND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 :A3		
DATE: MARCH 2024		
FILE No.: HS 164		
DRAWING No.: 18-P-101		
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EXISTING GROUND FLOOR PLAN
SCALE 1:100 @ A3

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LEGEND

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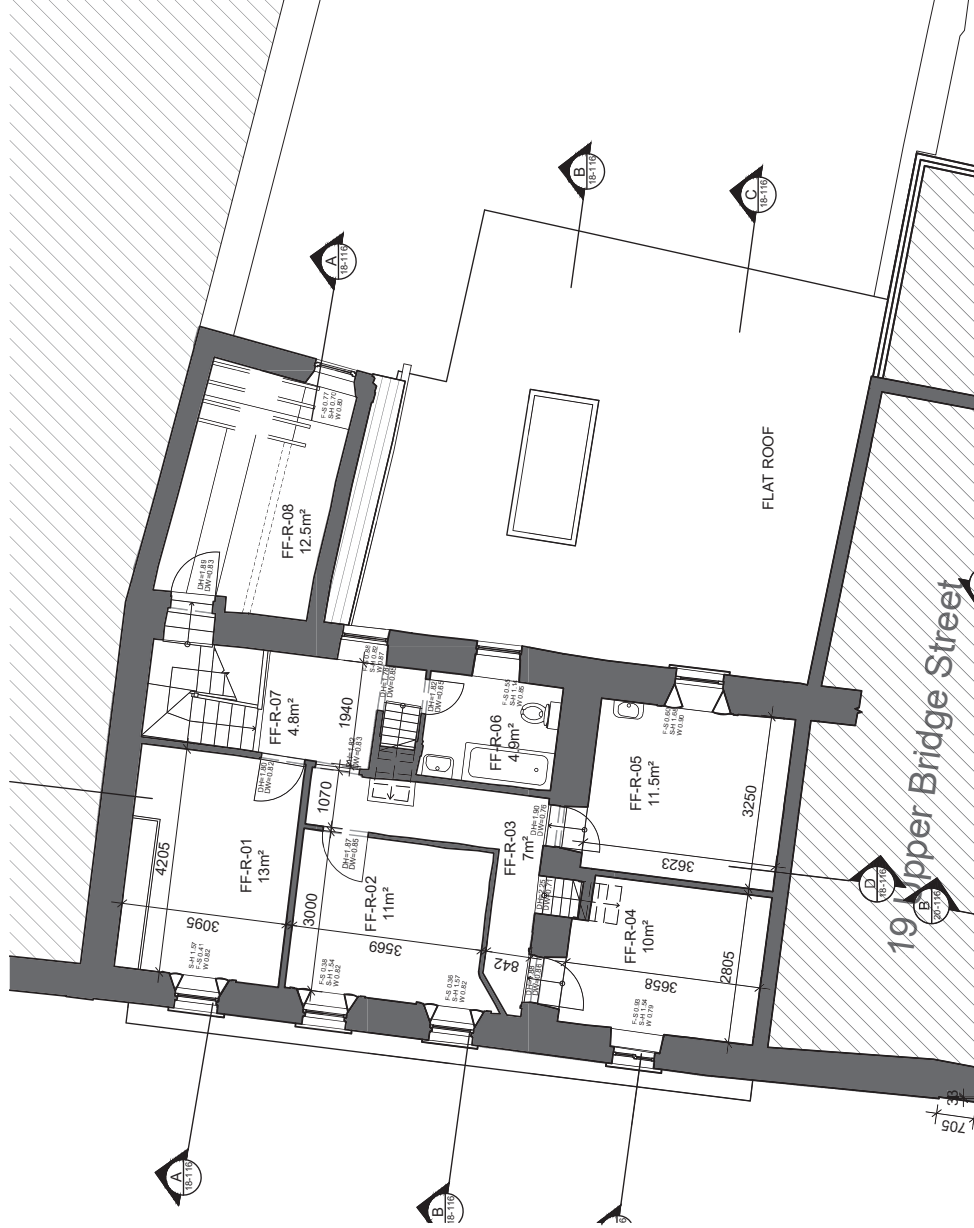
PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN, Co. KILKENNY

DRAWING: EXISTING FIRST FLOOR PLAN

DRAWN BY: VC
CHECKED BY: JM
SCALE: 1:100 :A3
DATE: MARCH 2024
FILE No.: HS 164
DRAWING No.: 18-P-102

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KILKENNY COUNTY COUNCIL
HOUSING CAPITAL SECTION



EXISTING FIRST FLOOR PLAN
SCALE 1:100 @ A3

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

DRAWING LEGEND



Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: EXISTING 2ND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 / A3		
DATE: MARCH 2024		
FILE No.: HS 164		
DRAWING No.: 18-P-103		
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EXISTING SECOND FLOOR PLAN
SCALE 1:100 @ A3

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LEGEND



Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN, Co. KILKENNY

DRAWING: EXISTING ROOF PLAN
2ND FLOOR & ROOF

DRAWN BY: VC
CHECKED BY: JM
SCALE: 1:100 / A3
DATE: MARCH 2024
FILE No.: HS 164
DRAWING No.: 18-P-104

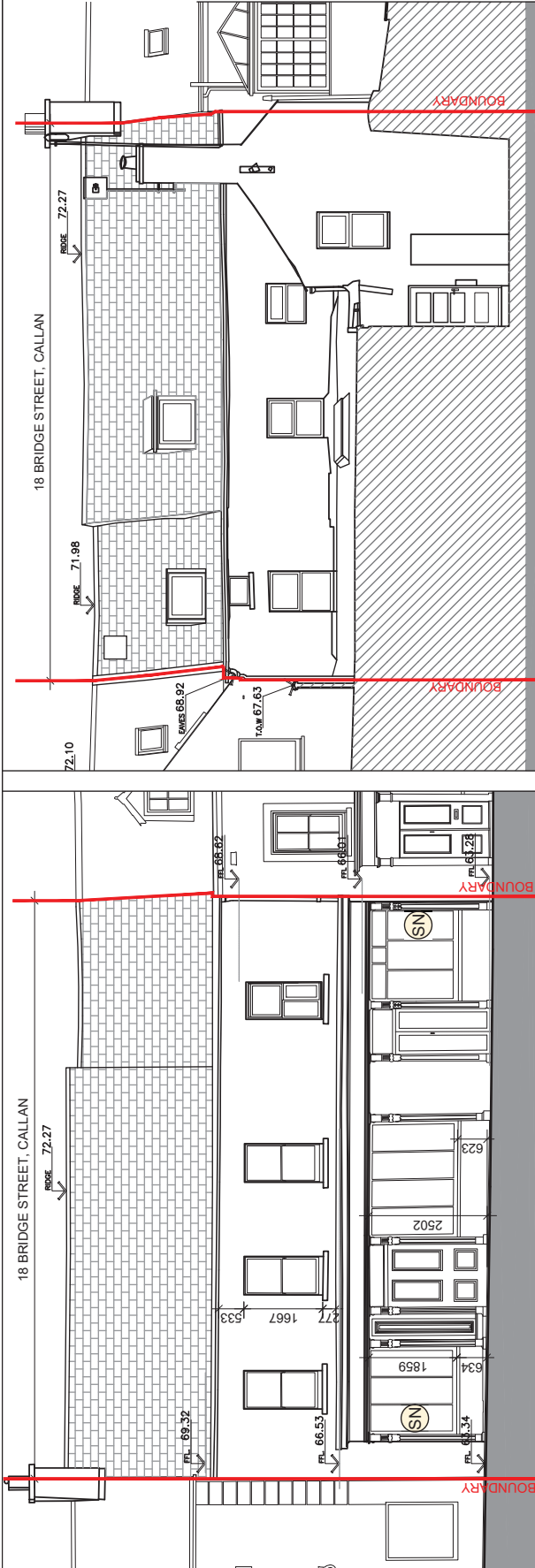
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RELATED DRAWING NUMBER: 18-P-104-CONSTRUCTION



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EXISTING ROOF PLAN
SCALE 1:100 @ A3



EXISTING FRONT ELEVATION
SCALE 1:100 @ A3

EXISTING REAR ELEVATION
SCALE 1:100 @ A3



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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

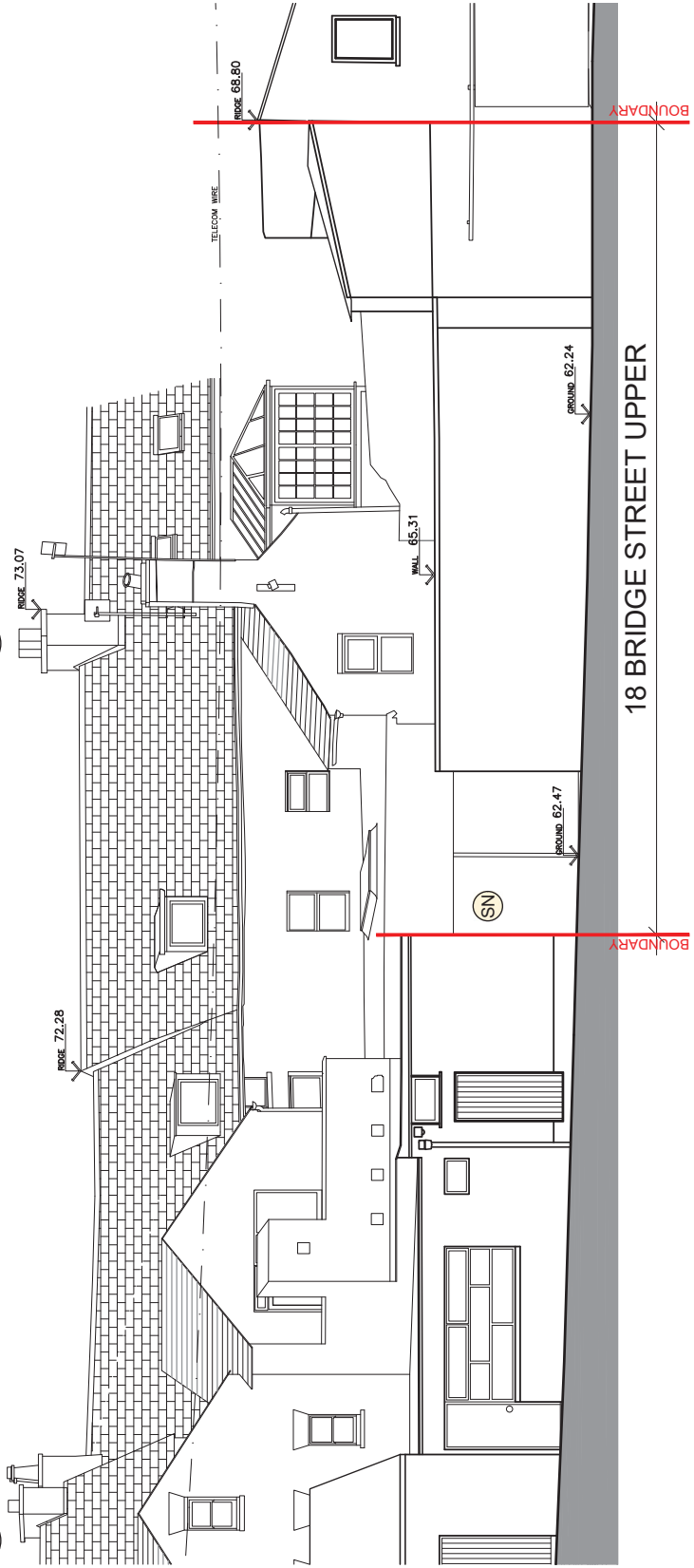
Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

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PLANNING	☒	TENDER	☐	CONSTRUCTION	☐
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY					
DRAWING: EXISTING ELEVATIONS FRONT & REAR ELEVATION					
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CHECKED BY: JM					
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DATE: MARCH 2024					
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DRAWING No.: 18-P-105					
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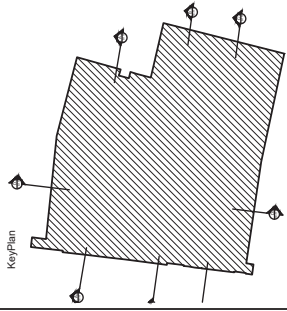


CLODEEN LANE ELEVATION
SCALE 1:100 @ A3

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LEGEND



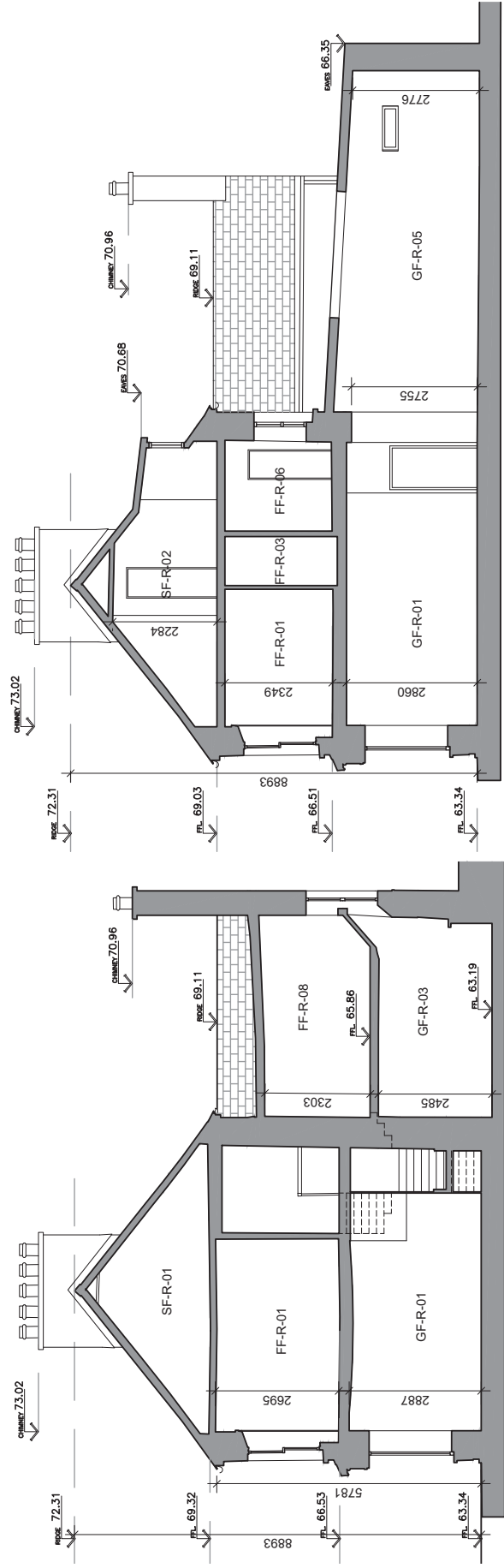
Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

HOUSING CAPITAL SECTION



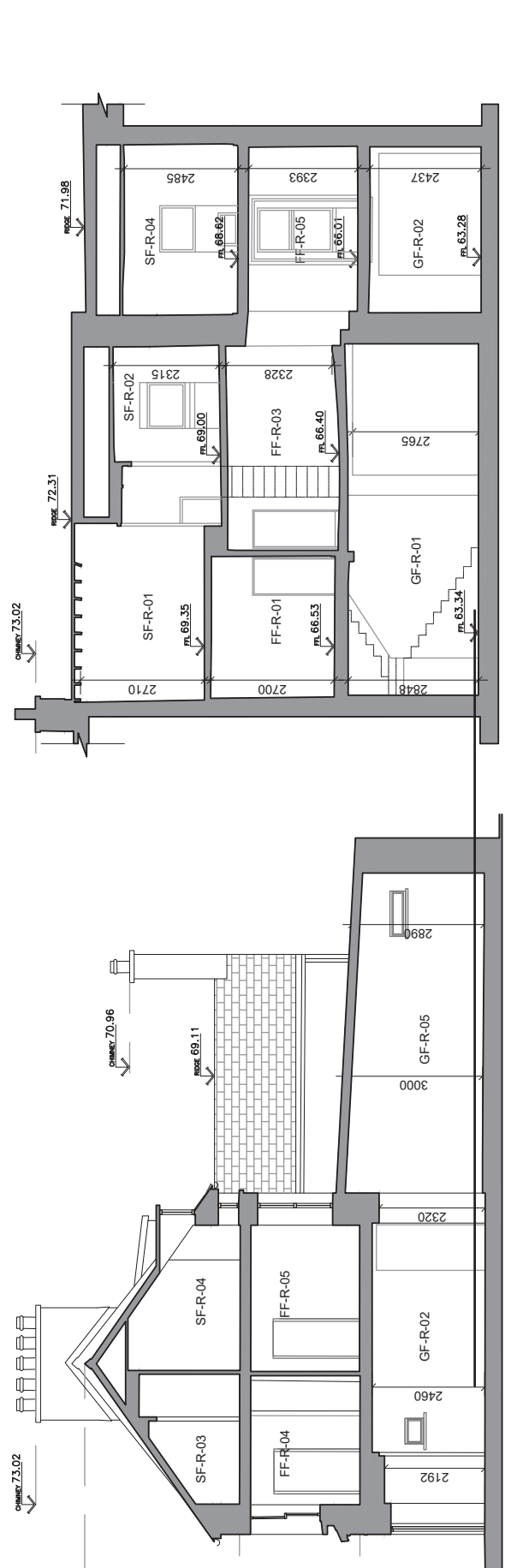
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E-mail: info@kilkenneycc.ie
Web: www.kilkenneycc.ie

PLANNING	X	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT NO. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY			
DRAWING: EXISTING SECTIONS SECTION A-A/B-B/C-C/D-D			
DRAWN BY: VC			
CHECKED BY: JM			
SCALE: 1:100 / A3			
DATE: MARCH 2024			
FILE No.: HS 164			
DRAWING No.: 18-P-106			
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EXISTING SECTION A-A
SCALE 1:100 @ A3

EXISTING SECTION B-B
SCALE 1:100 @ A3



EXISTING SECTION C-C
SCALE 1:100 @ A3

EXISTING SECTION D-D
SCALE 1:100 @ A3

KINGS RIVER

NOTES

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LEGEND

SITE BOUNDARY

EXISTING WALLS

DEMOLITION

EXISTING WINDOWS & DOORS
REPLACED / RESTORED



Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXISTING REAR REFURBISHMENT	08/07/24

DEMOLITIONS SITE PLAN

SCALE 1:200 @ A3

EXISTING PITCHED ROOF REMOVED. CAREFULLY REMOVE EXISTING SLATES AND SET ASIDE FOR REVIEW AND POTENTIAL REUSE.

EXISTING VEGETATION & HARD LANDSCAPING REMOVED TO REAR YARD AREA.

EXISTING REAR SINGLE STOREY FLAT ROOF EXTENSION TO BE DEMOLISHED

EXISTING TWO STOREY SHED TO BE DEMOLISHED CAREFULLY (BOUNDARY WALLS TO BE MAINTAINED)

EXISTING SINGLE STOREY LEAN-TO SHED TO BE DEMOLISHED CAREFULLY (BOUNDARY WALL TO BE MAINTAINED)

DEMOLITION SITE SECTION

SCALE 1:200 @ A3

HOUSING CAPITAL SECTION



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Tel 056 779 4000
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PLANNING	TENDER	CONSTRUCTION
☒	☒	☒

PROJECT: PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

DRAWING: DEMOLITION
SITE PLAN & SITE SECTION

DRAWN BY: VC

CHECKED BY: JM

SCALE: 1:100 : A3

DATE: MARCH 2024

FILE No.: HS 164

DRAWING No.: 18-P-110

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

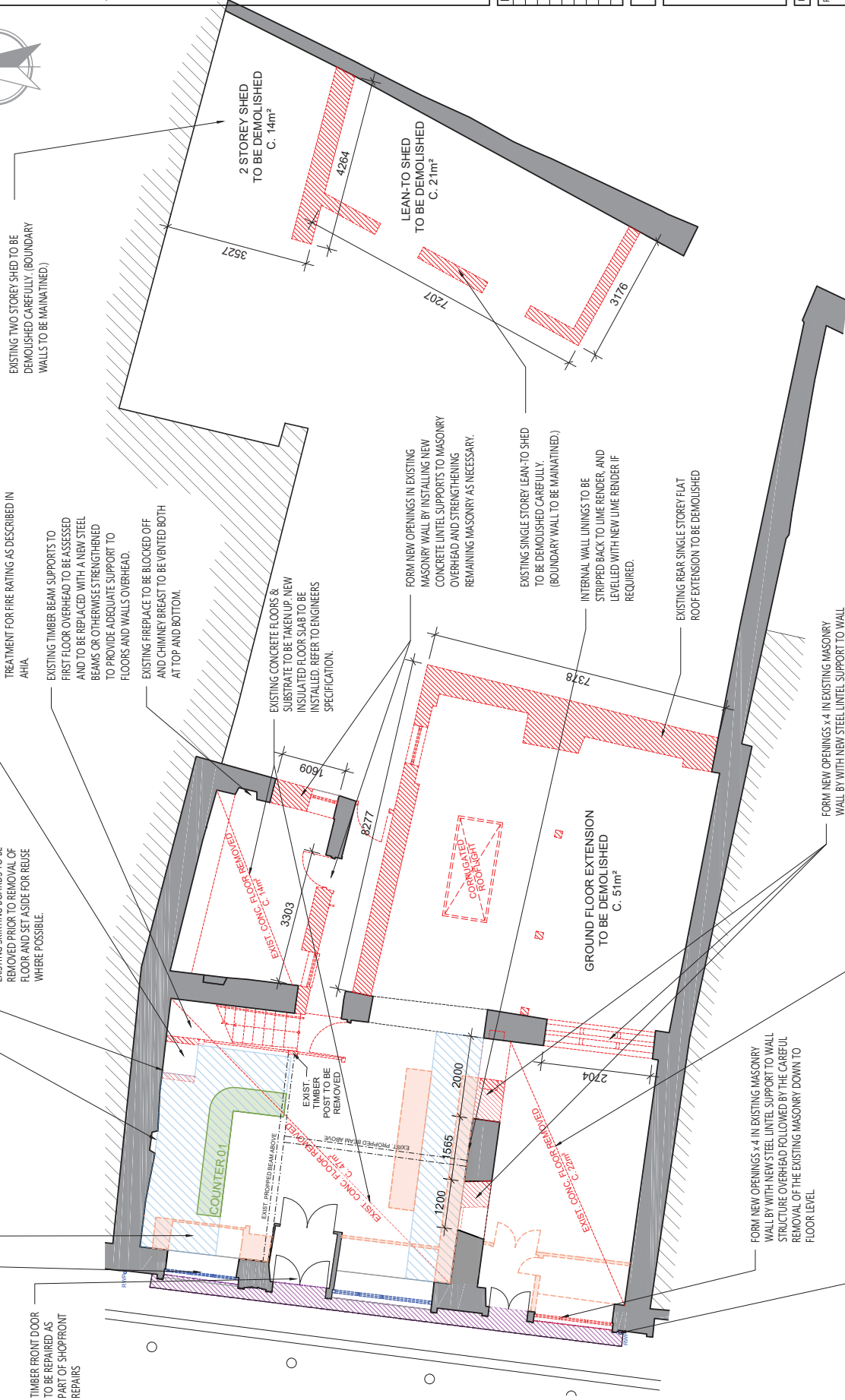
- LEGEND**
- SITE BOUNDARY
 - EXISTING WALLS
 - DEMOLITION
 - EXISTING WINDOWS & DOORS REPLACED / RESTORED
 - APPROXIMATE LOCATION OF EXISTING SUSPENDED TIMBER FLOORS TO BE REMOVED. EXTENT TO BE DETERMINED WHEN BUILDING IS MADE SAFE.
 - EXISTING SHOPFRONT TO BE REPAIRED IN ACCORDANCE WITH THE ARCHITECTURAL HERITAGE PLANNING AUTHORITY'S CHAPTER 12 - SHOPFRONTS AND CONSERVATION ARCHITECTS DRAWINGS
 - EXISTING STORE COUNTERS TO BE REPAIRED IN ACCORDANCE WITH THE ARCHITECTURAL HERITAGE PLANNING AUTHORITY'S CHAPTER 12 - SHOPFRONTS AND CONSERVATION ARCHITECTS DRAWINGS
 - EXISTING STORE FITTINGS OF LESSER SIGNIFICANCE TO BE REMOVED.

Rev	Description	Date
A	GENERAL DRAWING PROFILES	28/05/24
B	EXISTING REAR REFURBISHMENT	08/07/24
C	GENERAL DRAWING UPDATE	07/05/25

HOUSING CAPITAL SECTION

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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY		
DRAWING: DEMOLITION GROUND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 @ A3		
DATE: MARCH 2024		
FILE No.: HS 164		
DRAWING No.: 18-P-111		
ALL INFORMATION IS TO BE USED AS A GUIDE ONLY. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMISSIONS AND CONSENTS FROM THE APPROPRIATE AUTHORITIES.		



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ALL EXISTING TIMBER SASH WINDOW TO BE REPAIRED WHERE REQUIRED AND TO BE FITTED WITH SLIMLINE DOUBLE GLAZING. EXISTING CORDS AND WEIGHTS TO BE REVIEWED AND BALANCED, AND REPAIRED WHERE NECESSARY. WINDOWS TO BE FITTED WITH RESTRICTORS.

DEMOLITION GROUND FLOOR PLAN
SCALE 1:100 @ A3



NOTES:
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LEGEND

-  SITE BOUNDARY
 EXISTING WALLS
 DEMOLITION
 EXISTING WINDOWS & DOORS REPLACED / RESTORED

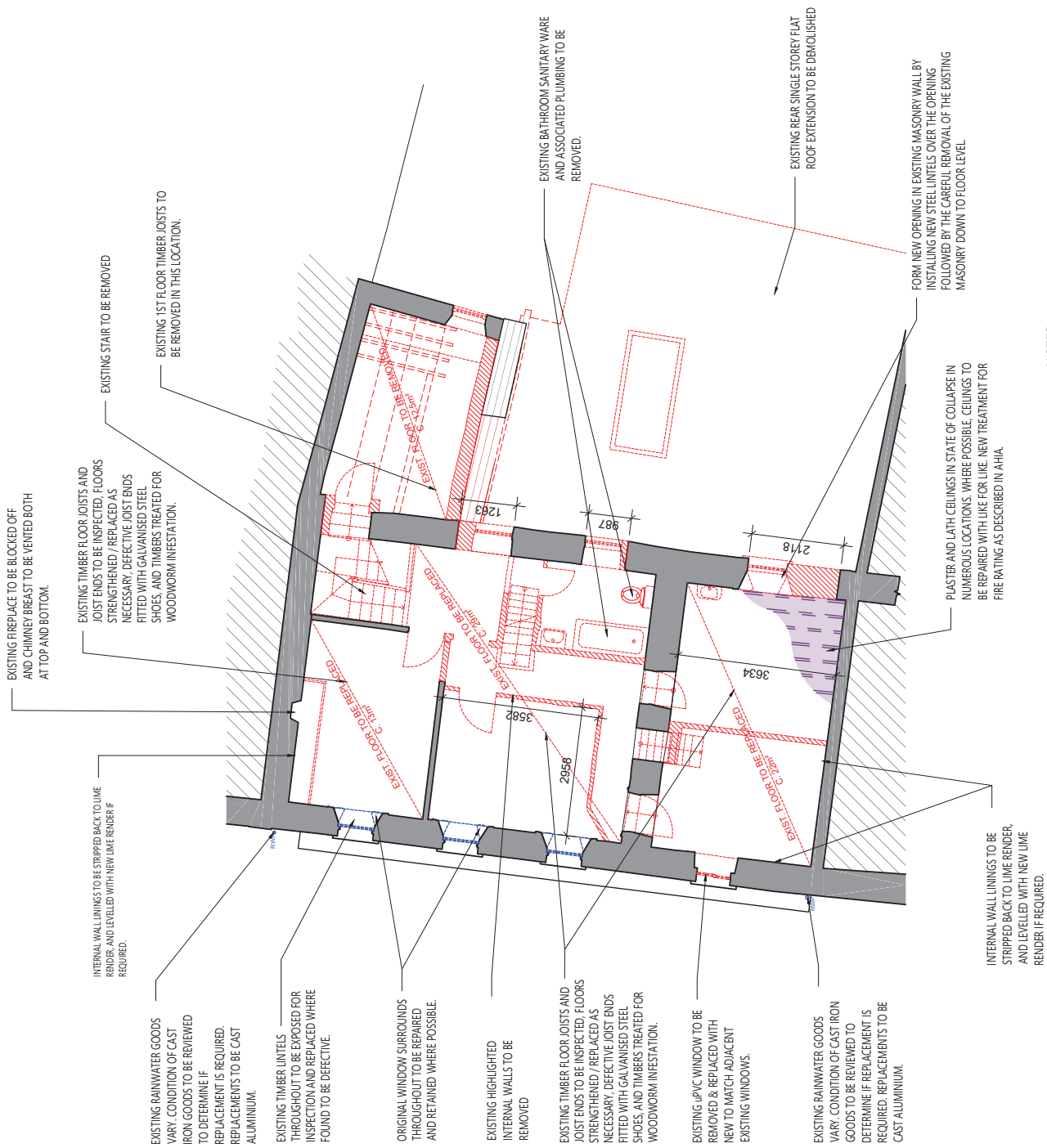
Rev.	Description	Date
A	GENERAL DRAWING UPDATES	23/05/24
B	EXISTING REAR RETURN REMOVAL	08/10/24

HOUSING CAPITAL SECTION



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PLANNING	✓	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT NO. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY			
DRAWING: DEMOLITION FIRST FLOOR PLAN			
DRAWN BY: VC			
CHECKED BY: JM			
SCALE: 1:100, A3			
DATE: MARCH 2024			
FILE NO.: HS 164			
DRAWING NO.: 1B-F-1			
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DEMOLITION FIRST FLOOR PLAN
SCALE 1:100 @ A3



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LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- DEMOLITION
- EXISTING WINDOWS & DOORS REPLACED / RESTORED
- EXISTING TIMBER FLOOR JOISTS AND JOIST ENDS TO BE INSPECTED, FLOOR JOISTS STRENGTHENED OR REPLACED AS NECESSARY.

Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXISTING REAR EXTENSION	08/07/24

HOUSING CAPITAL SECTION



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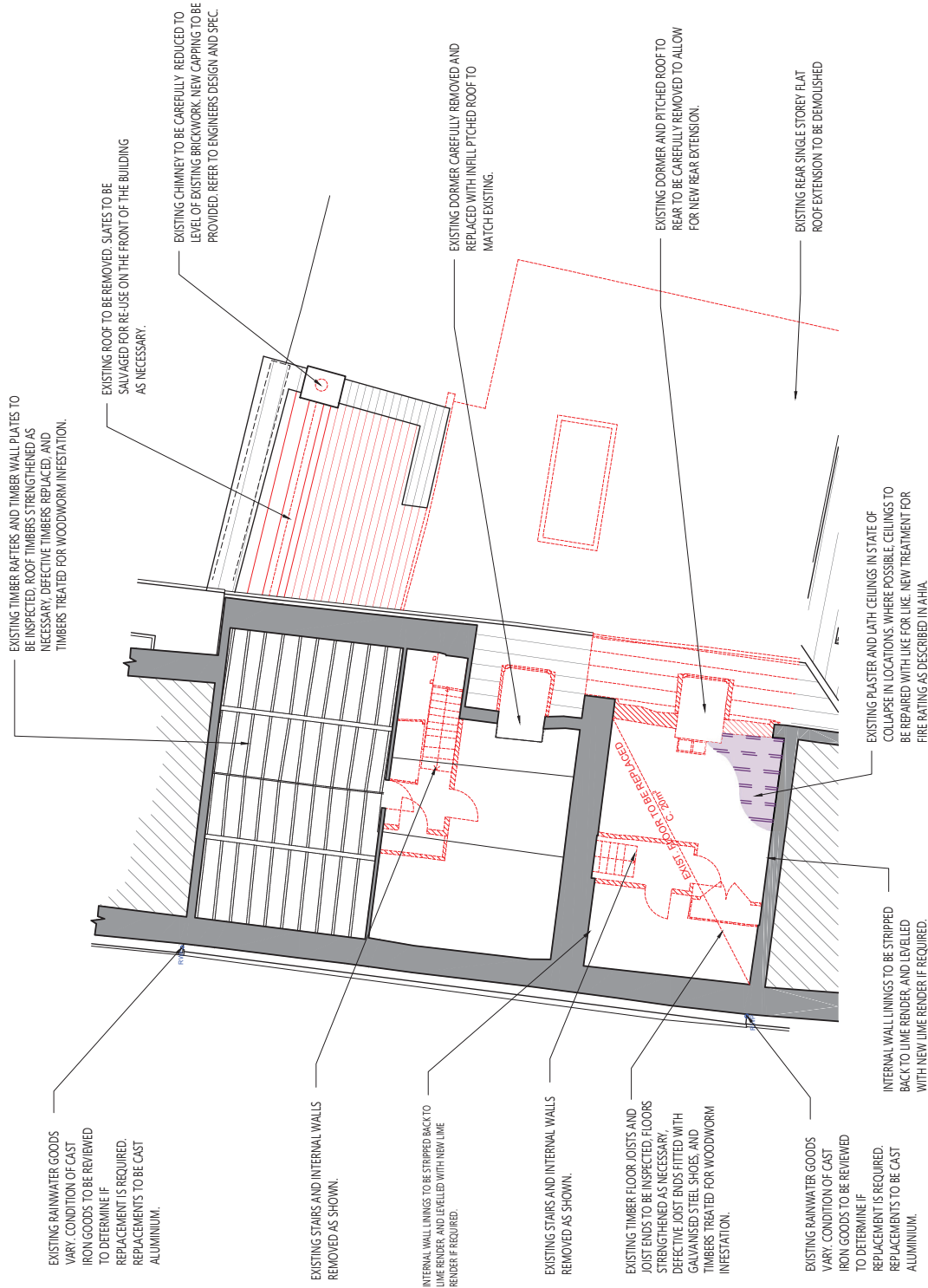
PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN, Co. KILKENNY

DRAWING: DEMOLITION
SECOND FLOOR PLAN

DRAWN BY: VC
CHECKED BY: JM
SCALE: 1:100 / A3
DATE: MARCH 2024
FILE No.: HS 164
DRAWING No.: 18-P-113

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DEMOLITION SECOND FLOOR PLAN
SCALE 1:100 @ A3

NOTES

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LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- DEMOLITION
- EXISTING WINDOWS & DOORS REPLACED / RESTORED
- APPROXIMATE LOCATION OF



Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXISTING REAR EXTENSION	08/07/24

HOUSING CAPITAL SECTION

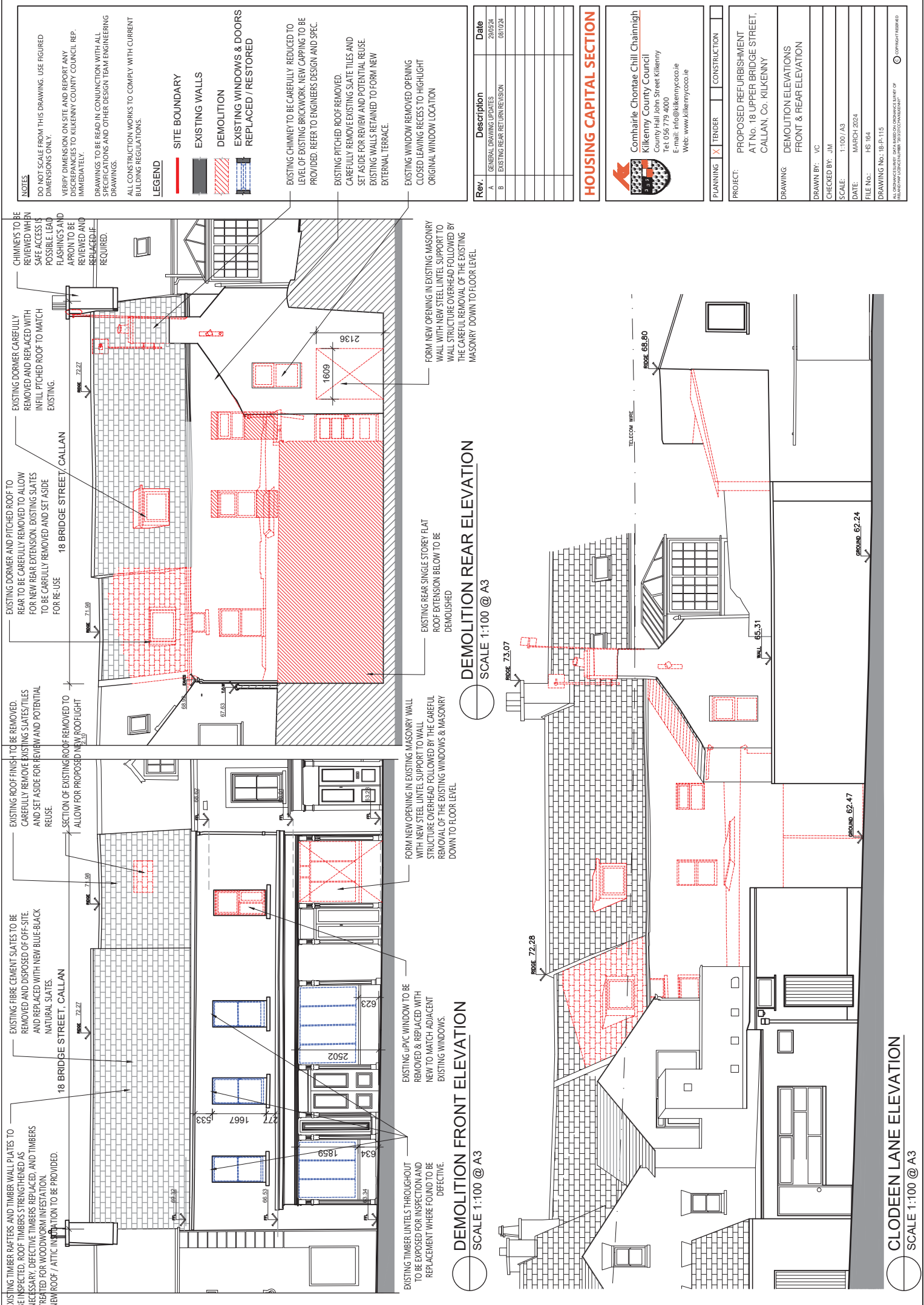


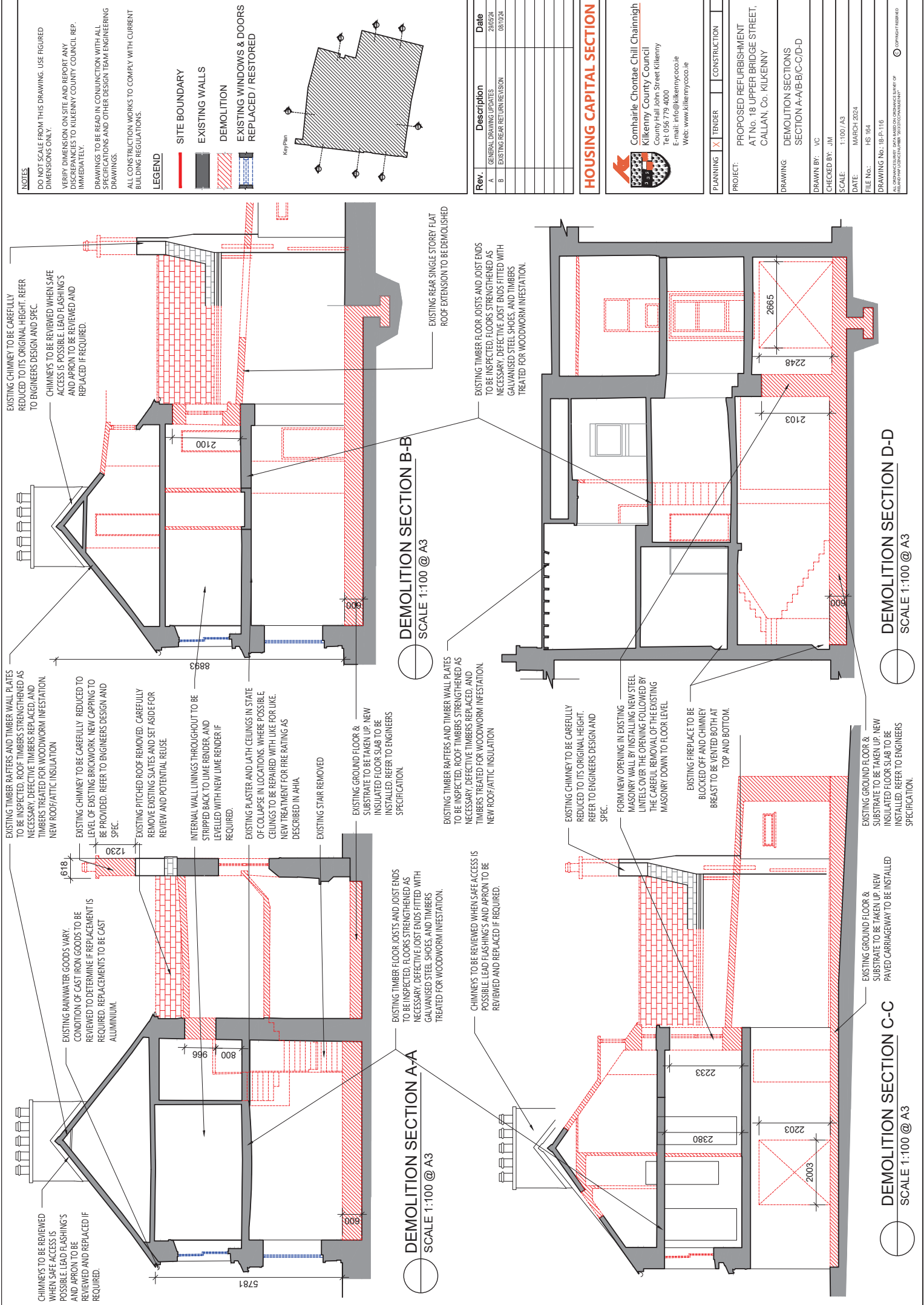
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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT NO. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY		
DRAWING: DEMOLITION ROOF PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 / A3		
DATE: MARCH 2024		
FILE NO.: HS 164		
DRAWING NO.: 18-P-114		
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DEMOLITION ROOF PLAN
SCALE 1:100 @ A3





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 SITE BOUNDARY
 PROPOSED EXTENSIONS / NEW BUILDINGS
 PROPOSED NEW WORKS (SECTION)



Rev.	Description	Date
A	GENERAL DRAWING UPDATES	29/05/24
B	EXISTING REAR RETURN REVISION	08/10/24
C	GENERAL UPDATE	04/02/25

HOUSING CAPITAL SECTION

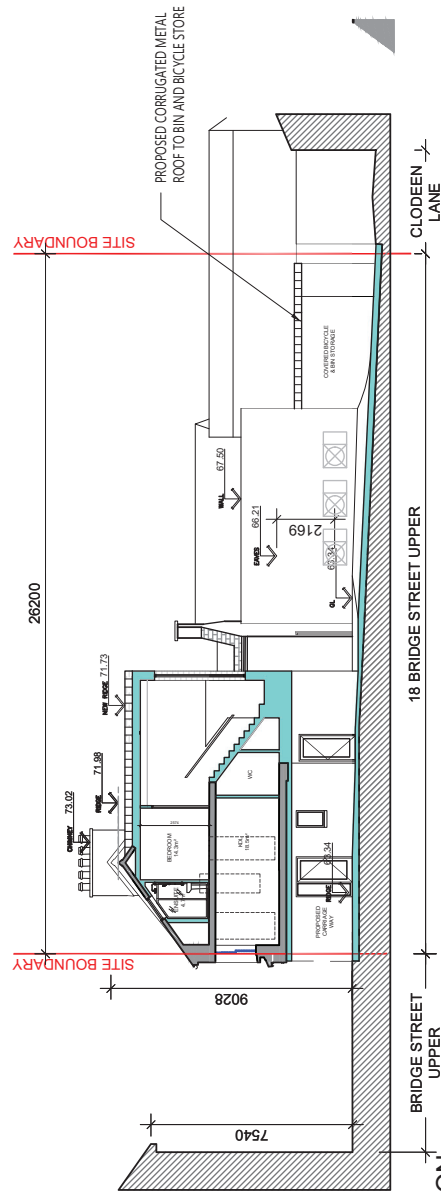


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PLANNING	✓	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY			
DRAWING: PROPOSED SITE PLAN & SITE SECTION			
DRAWN BY: VC			
CHECKED BY: JM			
SCALE: 1:200 / A3			
DATE: MARCH 2024			
FILE NO.: HS-164			
DRAWING NO.: 18-P-120			
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PROPOSED SITE PLAN
SCALE 1:200 @ A3



PROPOSED SITE SECTION
SCALE 1:200 @ A3

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DRAWING LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- ADJOINING BUILDING
- PROPOSED NEW WORKS (SECTION)
- EXISTING WINDOWS & DOORS
- REPLACED / RESTORED
- DEMOLITION
- ARTIST WORKSHOP AREA
- APARTMENT 1
- APARTMENT 2
- RESIDENTIAL SHARED AREA
- APPROXIMATE LOCATION OF SUSPENDED TIMBER FLOOR. EXISTING FLOORING TO BE REMOVED WHEN BUILDING IS MADE SAFE.
- EXISTING SHOPFRONT TO BE REPAIRED IN ACCORDANCE WITH PROTECTION GUIDELINES FOR PLANNING AUTHORITIES CHAPTER 12 - SHOPFRONTS AND CONSERVATION ARCHITECTS DRAWINGS

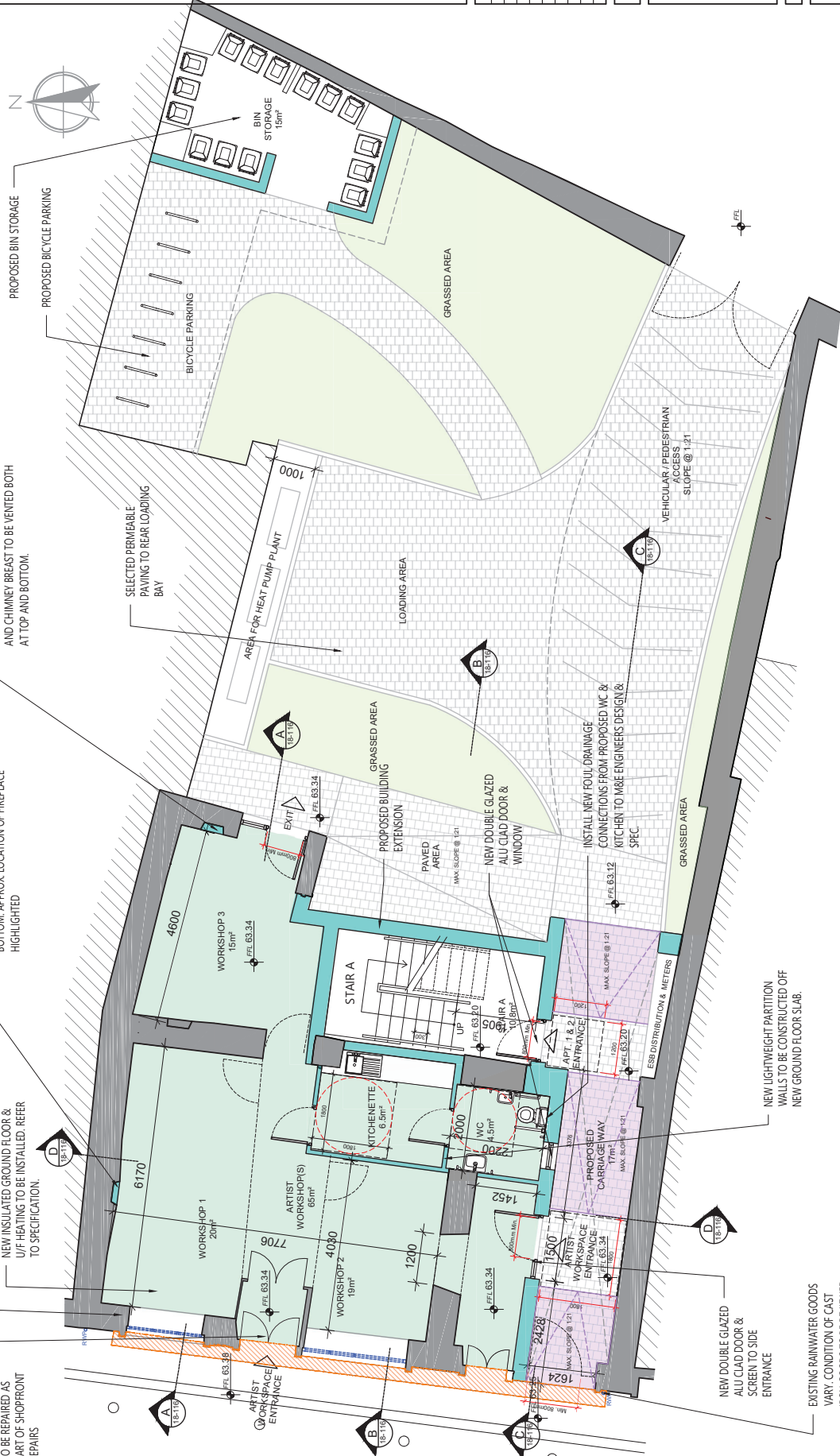
Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXISTING REAR REFURBISHMENT	08/07/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION

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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT at No. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY		
DRAWING: PROPOSED GROUND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JMC		
SCALE: 1:100 A3		
DATE: MARCH 2024		
FILE NO.: HS-164		
DRAWING NO.: 18-P-121		
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STAIR A DETAILS:
WIDTH = 1200mm
BETWEEN HANDRAILS = 900mm
RISE = 171mm
GOING = 300mm
PITCH = 30°



NOTES:

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Powers	
Ground Floor	
Non Residential Area (Powers)	
Artist Workshop	65sqm
Kitchenette	6.5sqm
WC	4.5sqm
Total Non Residential	76sqm
Residential Area	
Shared Stair Enclosure A	10.8sqm

PROPOSED GROUND FLOOR PLAN

SCALE 1:100 @ A3

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

DRAWING LEGEND

-
- SITE BOUNDARY
 EXISTING WALLS
 ADJOINING BUILDING
 PROPOSED NEW WORKS (SECTION)
 EXISTING WINDOWS & DOORS REPLACED / RESTORED
 DEMOLITION
 ARTIST WORKSHOP AREA
 APARTMENT 1
 APARTMENT 2
 RESIDENTIAL SHARED AREA

Rev.	Description	Date
A	GENERAL DRAWING UPDATES	29/05/24
B	EXISTING REAR RETURN REVISION	08/10/24
C	GENERAL NOTES ADDED	04/02/25

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Tel: 056 779 4000
E-mail: info@kilkennycoco.ie
Web: www.kilkennycoco.ie

PLANNING	X	TENDER		CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN Co. KILKENNY

DRAWING: PROPOSED
FIRST FLOOR PLAN

DRAWN BY:	VC
CHECKED BY:	IM

SCALE: 1:100

DATE: MARCH:

FILE No.: HS-164

DRAWING NO.: 18-P-122

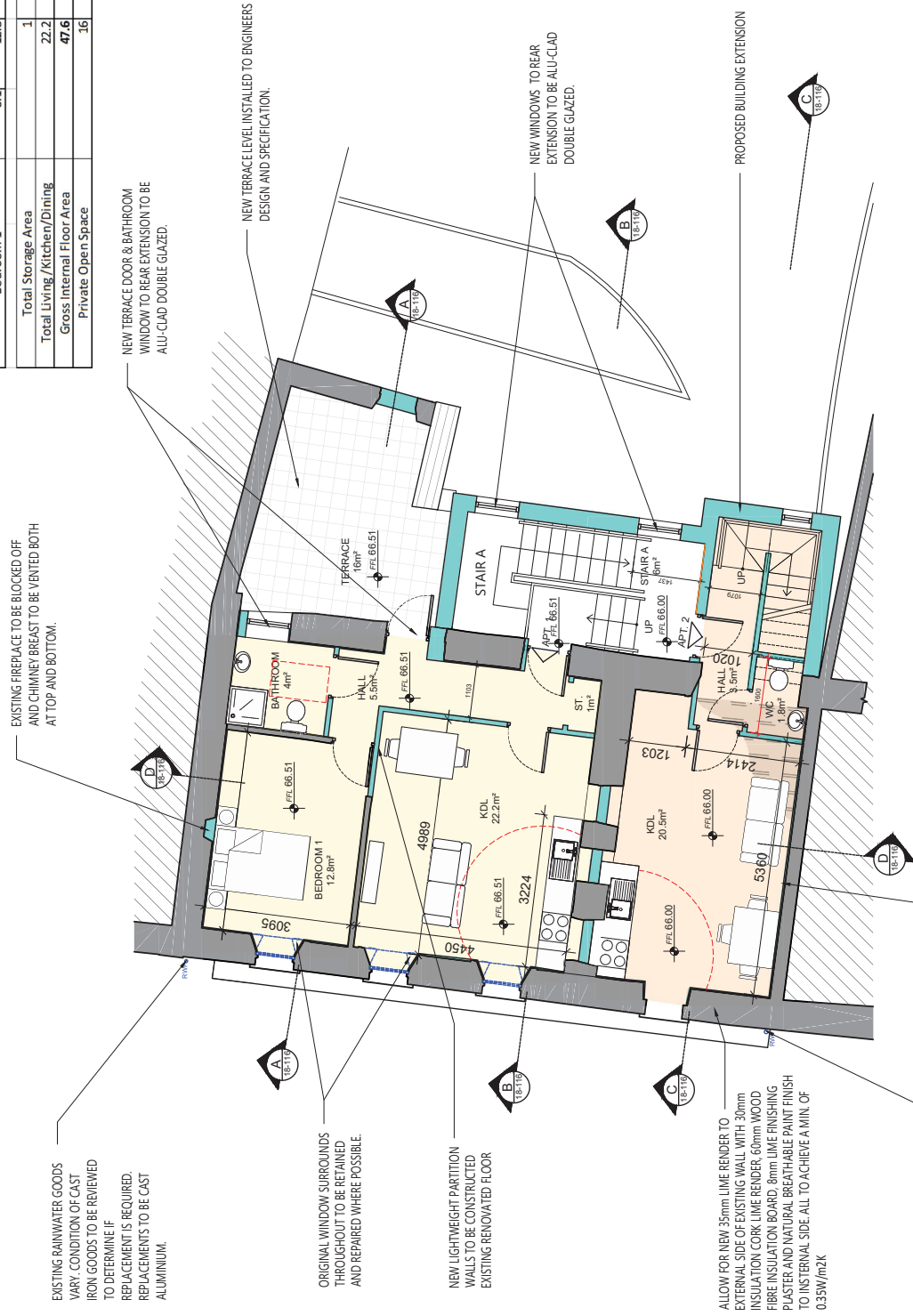
ALL ORDNANCE SURVEY DATA BASED ON ORDNANCE SURVEY OF
 GREAT BRITAIN 1950 (ED. 1) MAPS. ORDNANCE SURVEY DATA NOT AVAILABLE

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Apartment 1 (Powers)	Relevant Area	Proposed Unit		Equivalent Dept Guidelines		1B/2P/1S (A)
		Actual Width	Actual Area (sqm)	Min Width	Min Floor Area (sqm)	Comparison Floor Area Percentage
	Bedroom 1	3.1	12.8	2.8	11.4	112.28%
	Total Storage Area		1		3	33.33%
	Total Living /Kitchen/Dining		22.2		23	96.52%
	Gross Internal Floor Area		47.6		45	105.78%
	Private Open Space		16		5	320.00%

STAIR B. DETAILS: (Private Stair)

<u>WIDTH</u>	= 1000mm
BETWEEN HANDRAILS	= 900mm
RISE	= 185mm
GOING	= 250mm
PITCH	= 37°



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Apartment 2 (Powers) Relevant Area	Proposed Unit	Equivalent Dept Guidelines		Comparison Floor Area Percentage		
		Actual Width	Actual Area (sqm)		Min Width	Min Floor Area (sqm)
Bedroom 1	3.6	15.5	2.8	11.4	135.96%	
Total Storage Area		1.6		3	53.33%	
Total Living /Kitchen/Dining		20.5		23	89.13%	
Gross Internal Floor Area		54		45	120.00%	
Private Open Space		9.5		5	190.00%	
Shared Stair Enclosure A	6 sqm	(First Floor)				

SCALE 1:100 @ A3

NOTES
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LEGEND

DRAWING LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- ADJOINING BUILDING
- PROPOSED NEW WORKS (SECTION)
- EXISTING WINDOWS & DOORS
- REPLACED / RESTORED
- DEMOLITION
- ARTIST WORKSHOP AREA
- APARTMENT. 1
- APARTMENT. 2
- RESIDENTIAL SHARED AREA

Rev.	Description	Date
A	GENERAL DRAWING PROFILES	28/05/24
B	EXISTING REAR EXTENSION	08/10/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION



Comhairle Chontae Chill Chainnigh
Kilkenny County Council
County Hall John Street Kilkenny
Tel: 056 779 4000
E-mail: info@kilkennycoco.ie
Web: www.kilkennycoco.ie

PLANNING	TENDER	CONSTRUCTION

PROJECT: PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

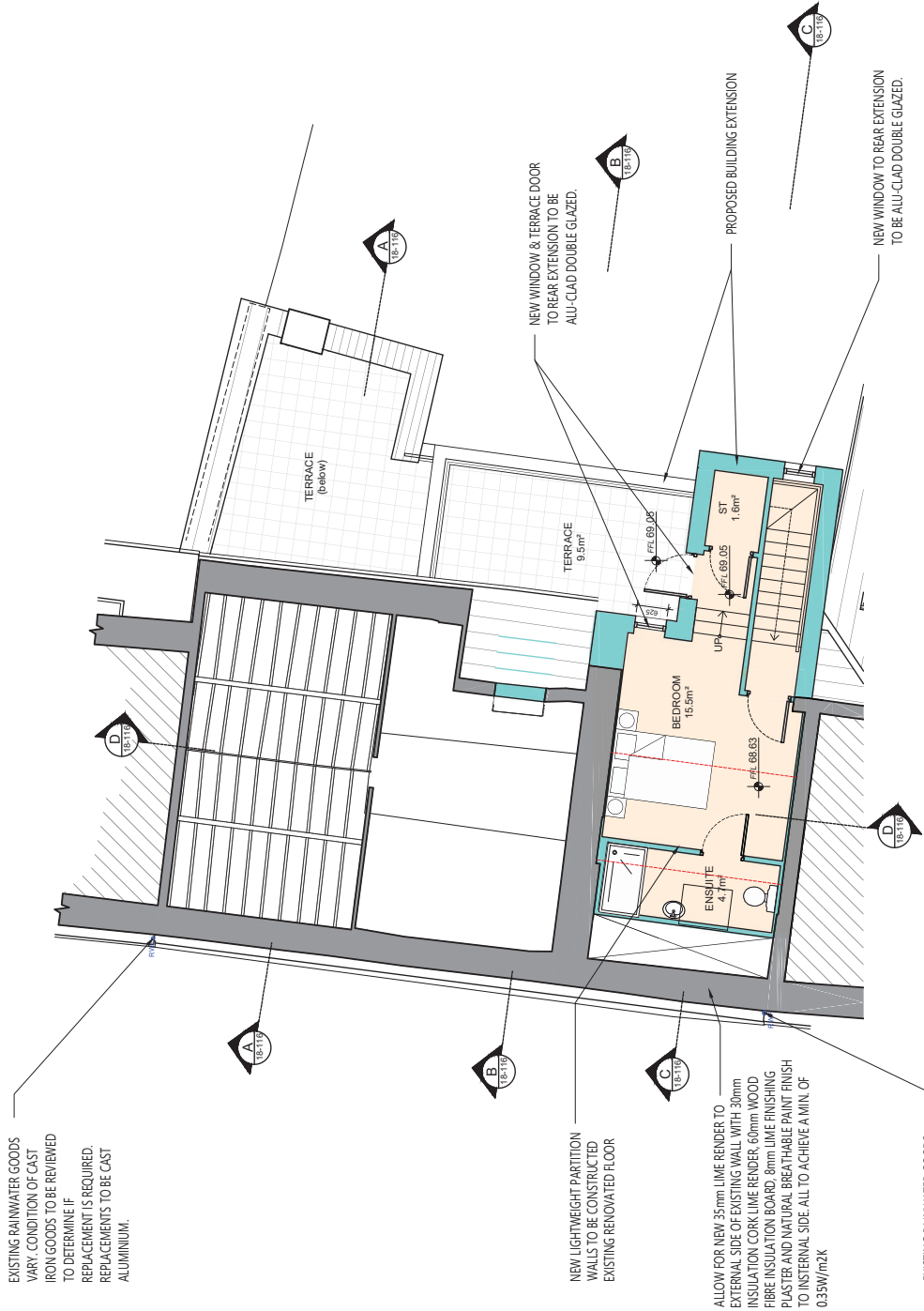
DRAWING: PROPOSED
SECOND FLOOR PLAN

DRAWN BY: VC
CHECKED BY: JM

SCALE: 1:100 / A3
DATE: MARCH 2024
FILE No.: HS-164
DRAWING No.: 18-P-123

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STAIR 8. DETAILS: (Private Stair)
WIDTH = 1000mm
BETWEEN HANDRAILS = 900mm
RISE = 185mm
GOING = 250mm
PITCH = 37°



NOTES:
ALL WINDOWS HIGHLIGHTED BLUE - - - - - TO BE CLOSELY INSPECTED FROM INTERIOR AND EXTERIOR WHEN SAFE ACCESS IS PROVIDED. ITEMS TO BE CHECKED FROM THE EXTERIOR: PUTTY, PAINT, TIMBER, JUNCTION OF WINDOW AND CILL, JUNCTION OF WINDOW AND REVEALS. IF TIMBER DETERIORATION IS DETECTED AT INSPECTION STAGE, REPAIR WORKS ARE PROPOSED IN ACCORDANCE WITH THE DEPARTMENT OF HOUSING, LOCAL GOVERNMENT AND HERITAGE ADVICE SERIES: GUIDE TO REPAIRING HISTORIC WINDOWS.
ALL EXISTING TIMBER SASH WINDOW TO BE REPAIRED WHERE REQUIRED AND TO BE FITTED WITH SLIMLINE DOUBLE GLAZING. EXISTING CORDS AND WEIGHTS TO BE REVIEWED AND BALANCED, AND REPAIRED WHERE NECESSARY. WINDOWS TO BE FITTED WITH RESTRICTORS.

Apartment 2 (Powers)	Relevant Area	Proposed Unit		Equivalent Dept Guidelines		Comparison Floor Area Percentage	1B/2P/25 (A)
		Actual Width	Actual Area (sqm)	Min Width	Min Floor Area (sqm)		
	Bedroom 1	3.6	15.5	2.8	11.4	135.96%	
	Total Storage Area		1.6		3	53.33%	
	Total Living /Kitchen/Dining		20.5		23	89.13%	
	Gross Internal Floor Area		54		45	120.00%	
	Private Open Space		9.5		5	190.00%	
Shared Stair Enclosure A	6 sqm		(First Floor)				

PROPOSED SECOND FLOOR PLAN
SCALE 1:100 @ A3



NOTES

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

DRAWING LEGEND

— SITE BOUNDARY



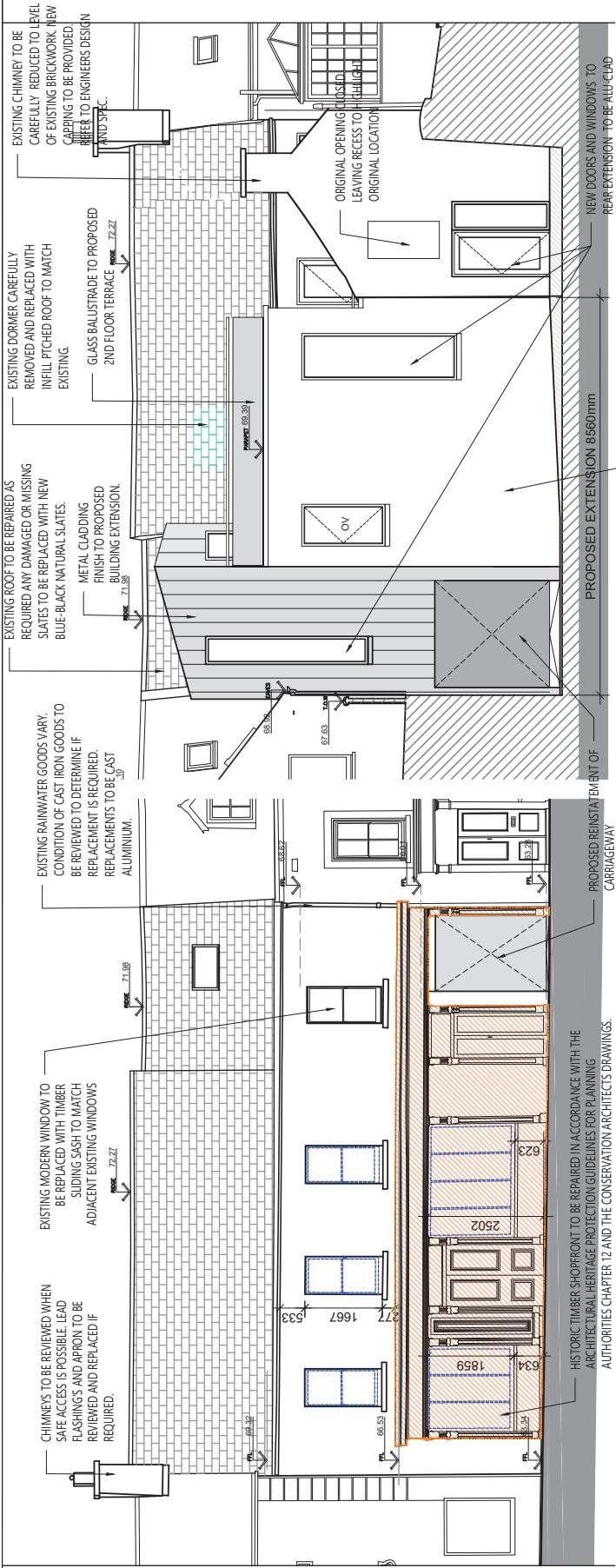
Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXISTING REAR REFURBISHMENT	08/07/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION



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PLANNING	X	TENDER		CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY				
DRAWING: PROPOSED ROOF PLAN				
DRAWN BY: VC				
CHECKED BY: JM				
SCALE: 1:100 / A3				
DATE: MARCH 2024				
FILE No.: HS-164				
DRAWING No.: 18-P-124				
ALL DIMENSIONS SHOWN DATA BASED ON DIMENSIONS SHOWN OF THE BUILDING AND ARE NOT TO SCALE. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.				
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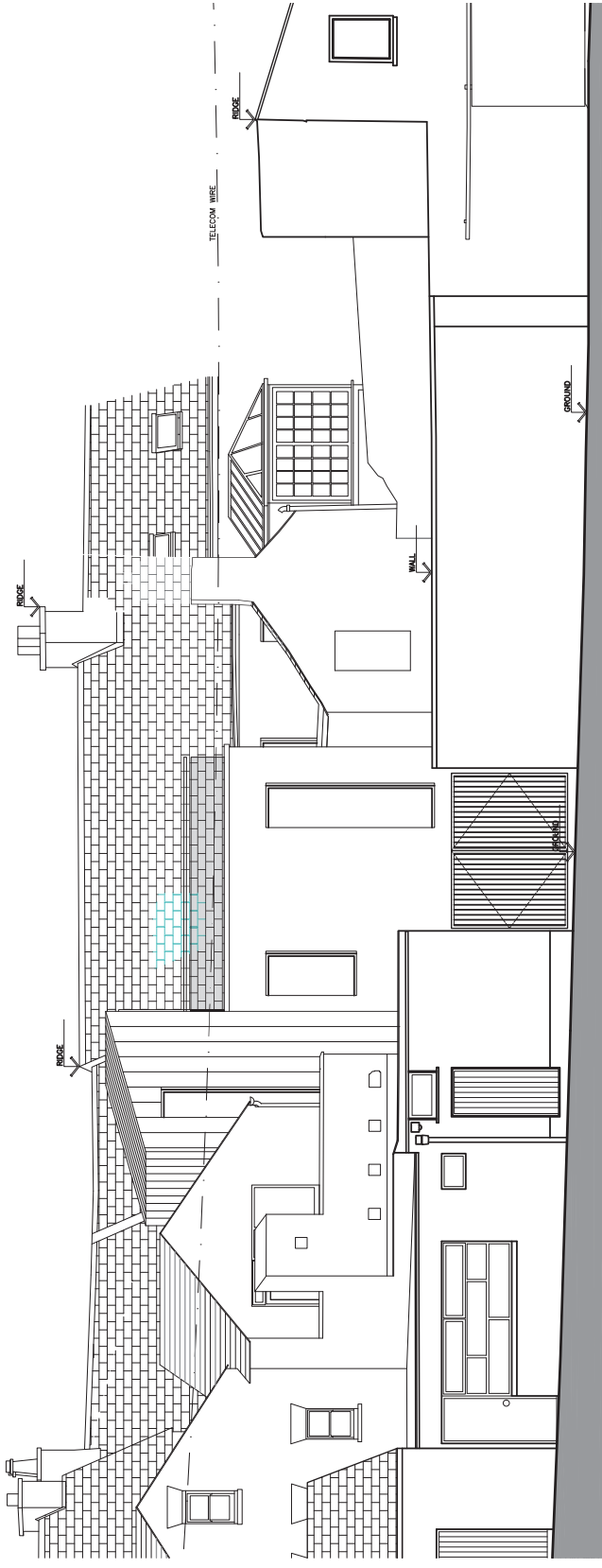


PROPOSED FRONT ELEVATION

SCALE 1:100 @ A3

PROPOSED REAR ELEVATION

SCALE 1:100 @ A3



CLODEEN LANE ELEVATION

SCALE 1:100 @ A3

NOTES

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

EXISTING WINDOWS & DOORS REPLACED / RESTORED

EXISTING SHOPFRONT TO BE REPAIRED IN ACCORDANCE WITH THE ARCHITECTURAL HERITAGE PROTECTION GUIDELINES FOR PLANNING AUTHORITIES CHAPTER 12 - SHOPFRONTS AND CONSERVATION ARCHITECTS DRAWINGS

NOTES:

ALL WINDOWS HIGHLIGHTED BLUE - - - - TO BE CLOSELY INSPECTED FROM INTERIOR AND EXTERIOR WHEN SAFE ACCESS IS PROVIDED. ITEMS TO BE CHECKED FROM THE EXTERIOR: PUTTY, PAINT, TIMBER JOINT OF WINDOW AND CILL, JUNCTION OF WINDOW AND REVEALS. IF TIMBER DETRIORATION IS DETECTED AT INSPECTION STAGE, REPAIR WORK IS TO BE PROPOSED IN ACCORDANCE WITH THE REPAIR GUIDE OF HOUSING LOCAL GOVERNMENT AND HERITAGE ADVICE SERIES: GUIDE TO REPAIRING HISTORIC WINDOWS.

ALL EXISTING TIMBER SASH WINDOW TO BE REPAIRED WHERE POSSIBLE. TO BE FITTED WITH SUITABLE DOUBLE GLAZING TO BE CORDS AND WEIGHTS TO BE REVIEWED AND BALANCED, AND REPAIRED WHERE NECESSARY. WINDOWS TO BE FITTED WITH RESTRICTORS.

Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXISTING REAR ELEVATION REVISION	08/07/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
PROJECT:		
PROPOSED REFURBISHMENT AT No. 18 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY		
DRAWING:		
PROPOSED ELEVATIONS FRONT & REAR ELEVATION		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 / A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 18-P-125		
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT LOCAL GOVERNMENT AND HERITAGE ADVICE SERIES: GUIDE TO REPAIRING HISTORIC WINDOWS		
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NOTES

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DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND OTHER DESIGN TEAM ENGINEERING DRAWINGS.
ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

SITE BOUNDARY

EXISTING WALLS

ADJOINING BUILDING

PROPOSED NEW WORKS (SECTION)

EXISTING WINDOWS & DOORS

REPLACED / RESTORED

EXISTING SHORFPONT TO BE REPAIRED IN ACCORDANCE WITH THE ARCHITECTURAL HERITAGE PROTECTION GUIDELINES FOR PLANNING AUTHORITIES CHAPTER 12 - SHORFPONTS AND CONSERVATION ARCHITECTS DRAWINGS

Key Plan

Rev	Description	Date
A	GENERAL DRAWING NOTES	28/05/24
B	EXISTING BEAR REVISION	30/07/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION

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PLANNING

TENDER

CONSTRUCTION

PROJECT:

PROPOSED REFURBISHMENT
AT No. 18 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

DRAWING:

EXISTING SECTIONS
SECTION A-A/B-B/C-C/D-D

DRAWN BY:

VC

CHECKED BY:

JM

SCALE:

1:100 / A3

DATE:

MARCH 2024

FILE NO.:

HS-164

DRAWING No.:

18-P-126

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PROPOSED SECTION C-C

SCALE 1:100 @ A3

PROPOSED SECTION D-D

SCALE 1:100 @ A3

20 Upper Bridge Street, Callan.

'Lynches'



Comhairle Chontae Chill Chainnigh
Kilkenny County Council

Kilkenny County Council,
Housing Capital Section,
John's Green House,
John's Green,
Kilkenny

Project No:	Project Name:	Client:	Date	Sheet No
HS164	Upper Bridge Street - Callan	Kilkenny County Council	30/05/2025	1 of 2
Project Description:				
18 & 20 Upper Bridge Street Development				

Date of Issue	Day	30									
	Month	05									
	Year	25									
Issue Type: Planning		PP									

[illegible]

Conservation Architect												
Structural Engineer												
Fire Consultant												
Services Consultant												
PSDP												
Contractor												
Legend	Preliminary (P), Feasibility (SS), Information (I), Planning Permission (PP), Retention. (R), Quotation (Q), Tender (TT), Construction Issue(CI), E-Mail (em)											

NOTES

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DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND OTHER DESIGN TEAM ENGINEERING DRAWINGS.
ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

DRAWING LEGEND

— SITE BOUNDARY



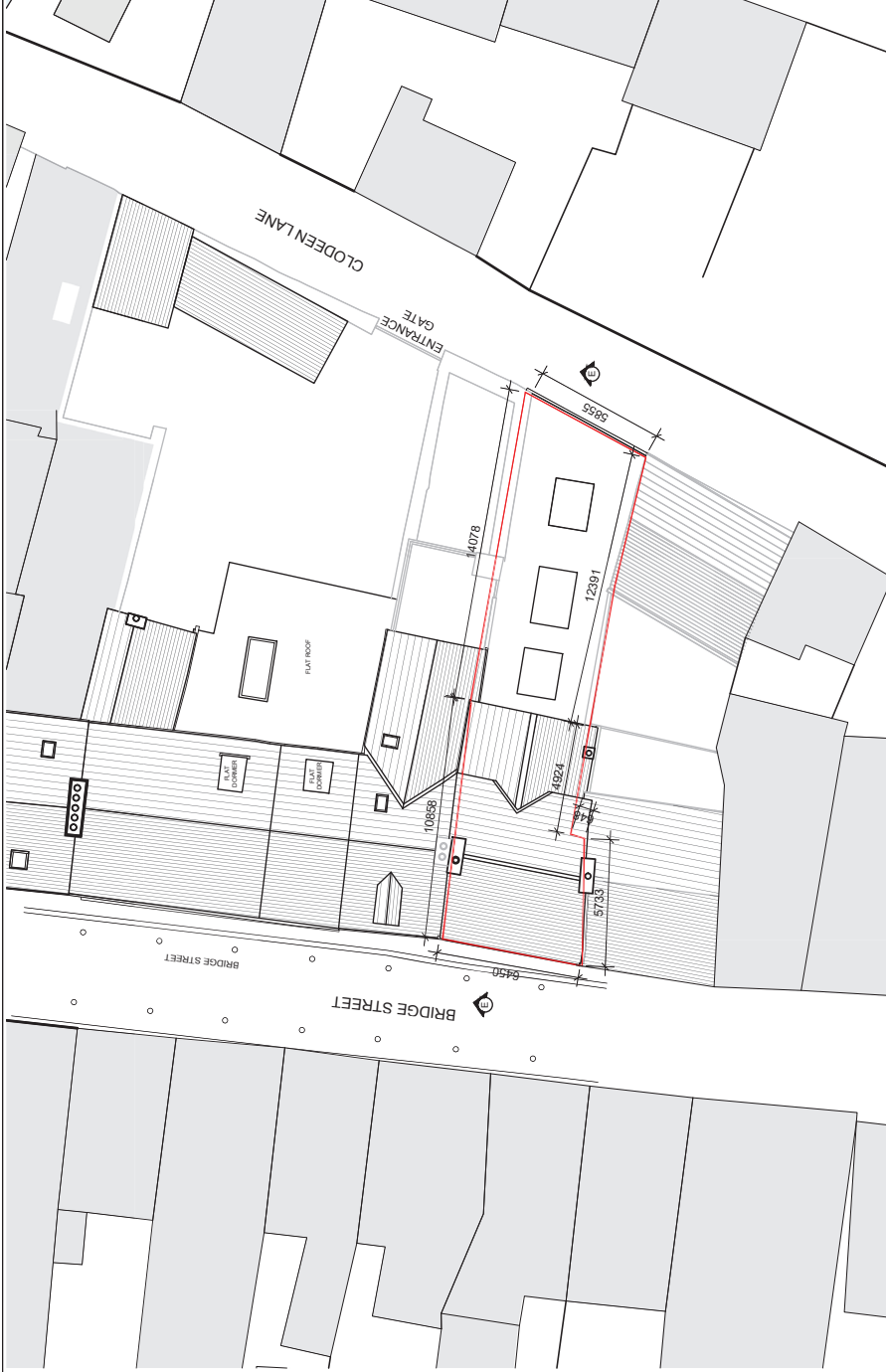
Rev.	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24

HOUSING CAPITAL SECTION



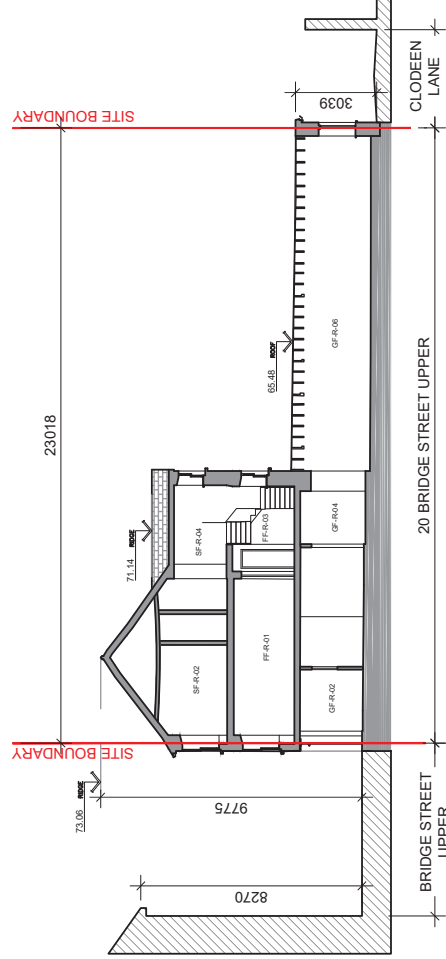
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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: EXISTING SITE PLAN & SITE SECTION		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:200: A3		
DATE: MARCH 2024		
FILE NO.: HS 164		
DRAWING NO: 20-P-100		
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EXISTING SITE PLAN

SCALE 1:200 @ A3



EXISTING SITE SECTION

SCALE 1:200 @ A3

NOTES

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DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND OTHER DESIGN TEAM ENGINEERING DRAWINGS.
ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

DRAWING LEGEND

- DEMOLITION WALLS
- ADJOINING PROPERTIES
- EXISTING FITTING & SHELVING



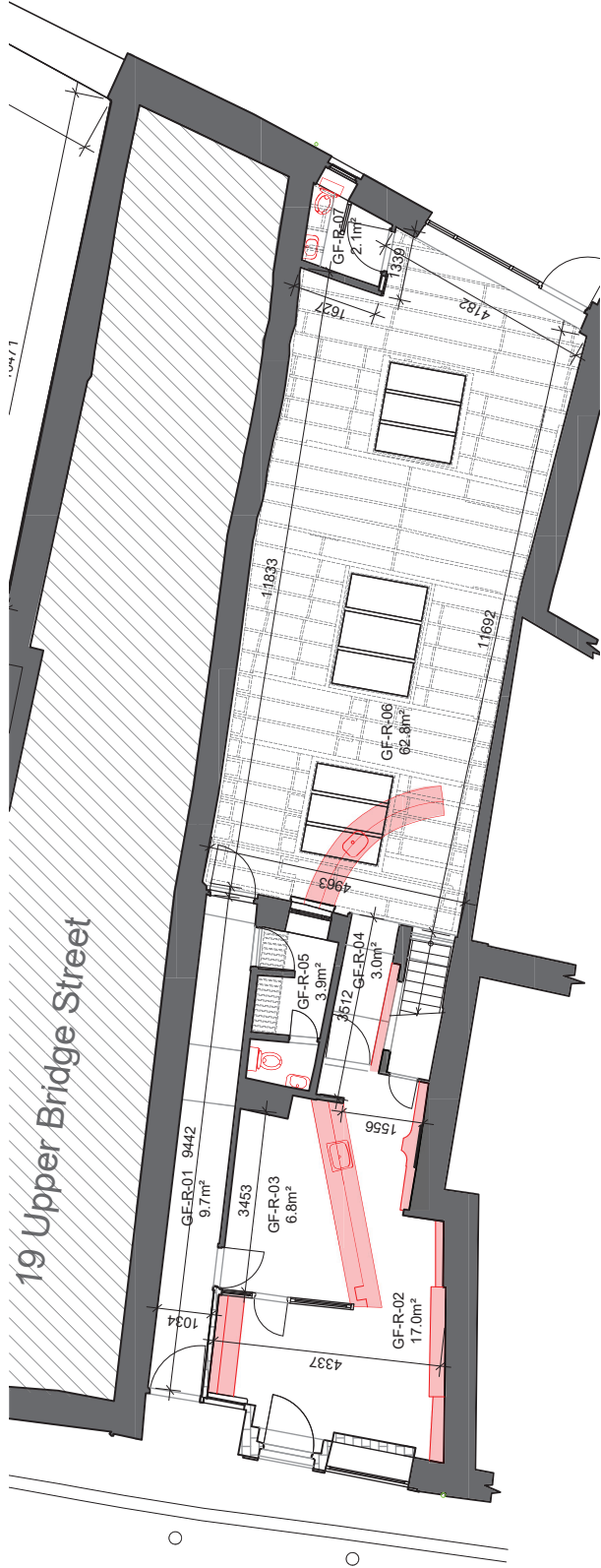
Rev.	Description	Date

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: EXISTING GROUND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 - A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-101		
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EXISTING GROUND FLOOR PLAN
SCALE 1:100 @ A3

NOTES

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DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND OTHER DESIGN TEAM ENGINEERING DRAWINGS.
ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

DRAWING LEGEND

- DEMOLITION WALLS
- ADJOINING PROPERTIES
- EXISTING FITTING & SHELVING



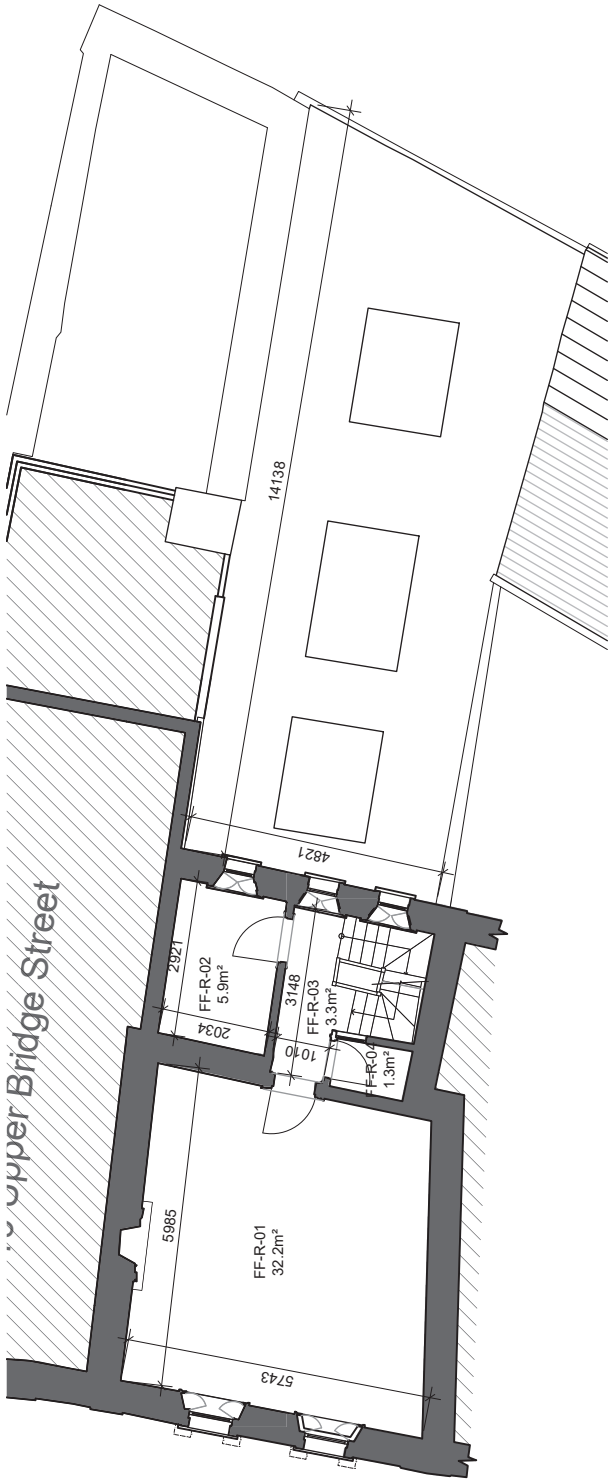
Rev.	Description	Date

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: EXISTING FIRST FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 :A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-102		
ALL DIMENSIONS SHOWN AND ALL MATERIALS AND METHODS OF CONSTRUCTION TO BE IN ACCORDANCE WITH THE "IRISH STANDARD SPECIFICATION FOR BUILDING MATERIALS"		



EXISTING FIRST FLOOR PLAN
SCALE 1:100 @ A3

NOTES

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

DRAWING LEGEND

- DEMOLITION WALLS
- ADJOINING PROPERTIES
- EXISTING FITTING & SHELIVING



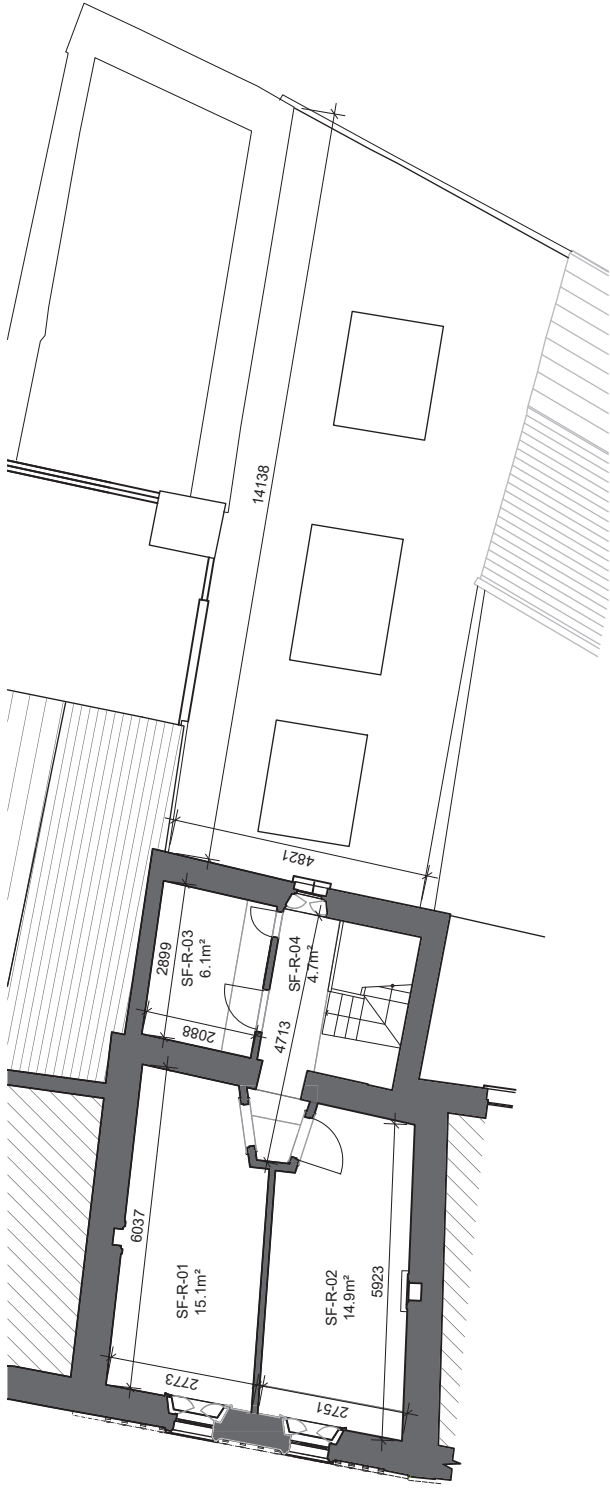
Rev.	Description	Date

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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY		
DRAWING: EXISTING SECOND FLOORPLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 :A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-103		
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EXISTING SECOND FLOOR PLAN
SCALE 1:100 @ A3

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DRAWING LEGEND

- DEMOLITION WALLS
- ADJOINING PROPERTIES
- EXISTING FITTING & SHELIVING



Rev.	Description	Date

HOUSING CAPITAL SECTION



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Web: www.kilkennycoco.ie

PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN, Co. KILKENNY

DRAWING: EXISTING
ROOF PLAN

DRAWN BY:	VC
CHECKED BY:	JM
SCALE:	1:100 :A3
DATE:	MARCH 2024
FILE No.:	HS-164
DRAWING No.:	20-P-104

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RELATED DRAWING NUMBER: 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NOTES

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LEGEND



Rev.	Description	Date

HOUSING CAPITAL SECTION



Comhairle Chontae Chill Chainnigh
Kilkenny County Council
County Hall John Street Kilkenny
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E-mail: info@kilkennycoco.ie
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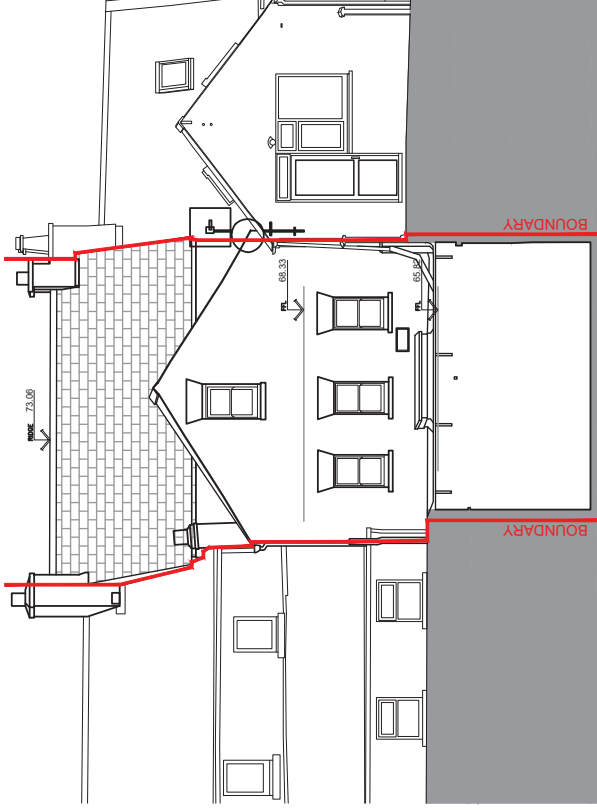
PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

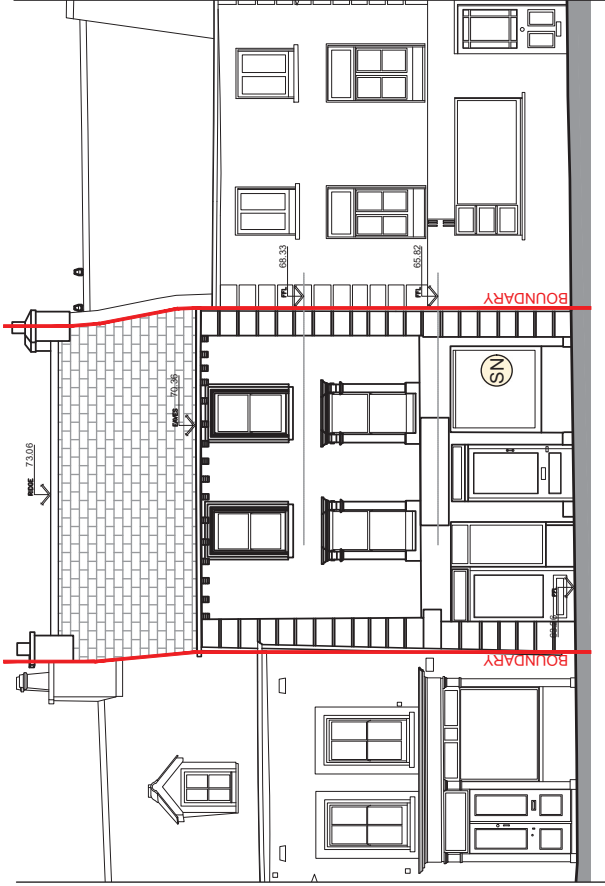
DRAWING: EXISTING ELEVATIONS
FRONT & REAR ELEVATION

DRAWN BY: VC
CHECKED BY: JM
SCALE: 1:100 / A3
DATE: MARCH 2024
FILE No.: HS 164
DRAWING No.: 20-P-105

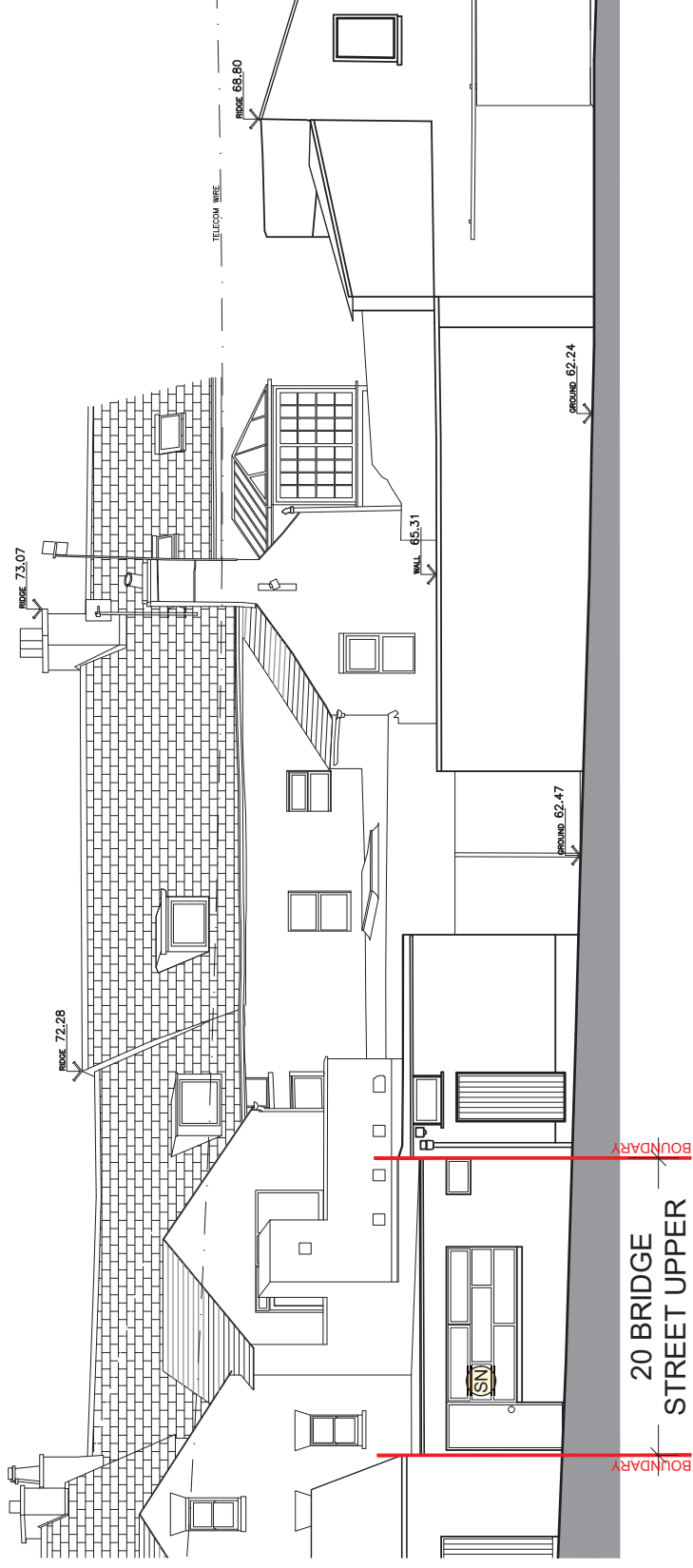
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
DRAWING MADE IN ACCORDANCE WITH THE 'IRISH STANDARD' FOR ARCHITECTURAL DRAWING.



EXISTING REAR ELEVATION
SCALE 1:100 @ A3

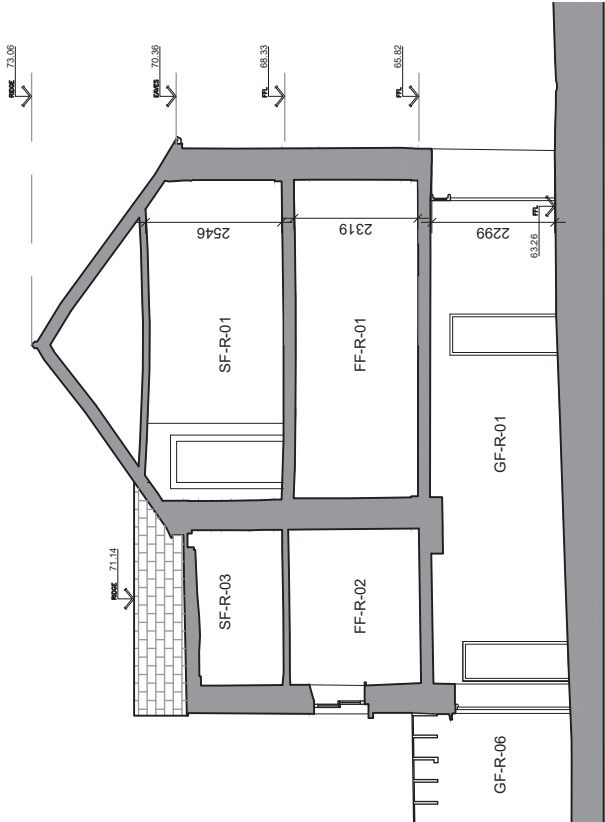


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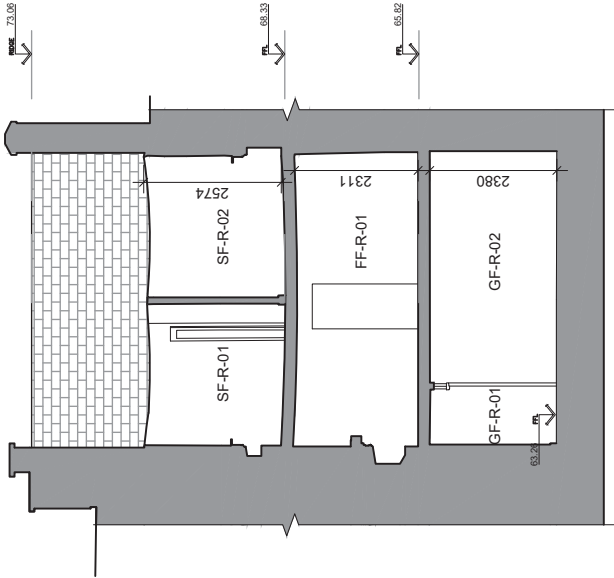
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STREET UPPER

CLODEEN LANE ELEVATION
SCALE 1:100 @ A3



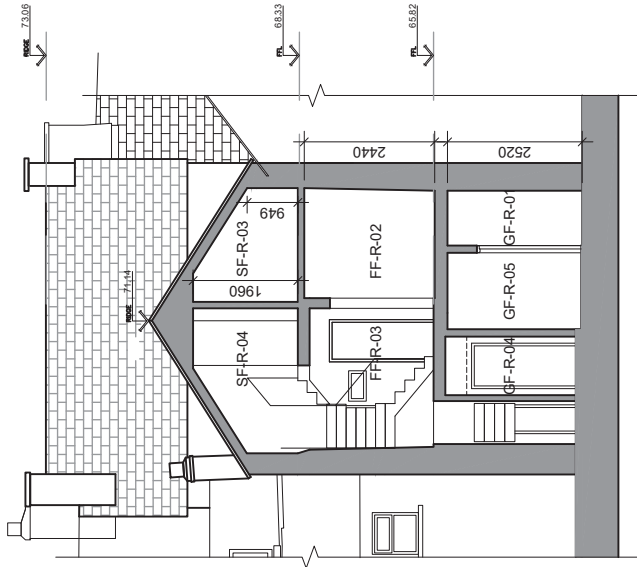
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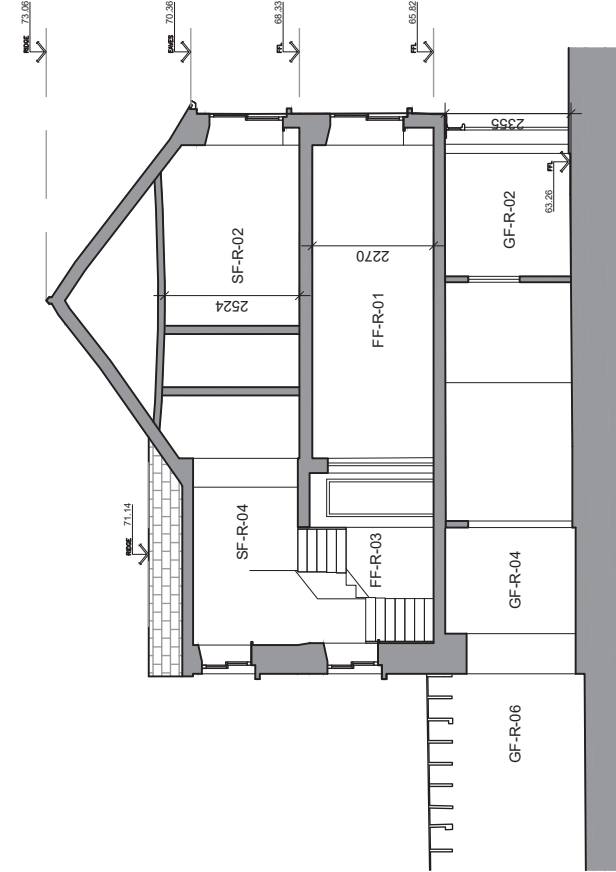
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SCALE 1:100 @ A3



EXISTING SECTION C-C

SCALE 1:100 @ A3



EXISTING SECTION D-D

SCALE 1:100 @ A3

NOTES

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

Keyplan

Rev.	Description	Date

HOUSING CAPITAL SECTION

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PLANNING	TENDER	CONSTRUCTION

PROJECT: PROPOSED REFURBISHMENT
AT NO. 20 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

DRAWING: EXISTING SECTIONS
SECTION A-A/B-B/C-C/D-D

DRAWN BY: VC

CHECKED BY: JM

SCALE: 1:100 / A3

DATE: MARCH 2024

FILE No.: HS 164

DRAWING No.: 20-P-106

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 SITE BOUNDARY
 EXISTING WALLS
 DEMOLITION
 EXISTING WINDOWS & DOORS
 REPLACED / RESTORED

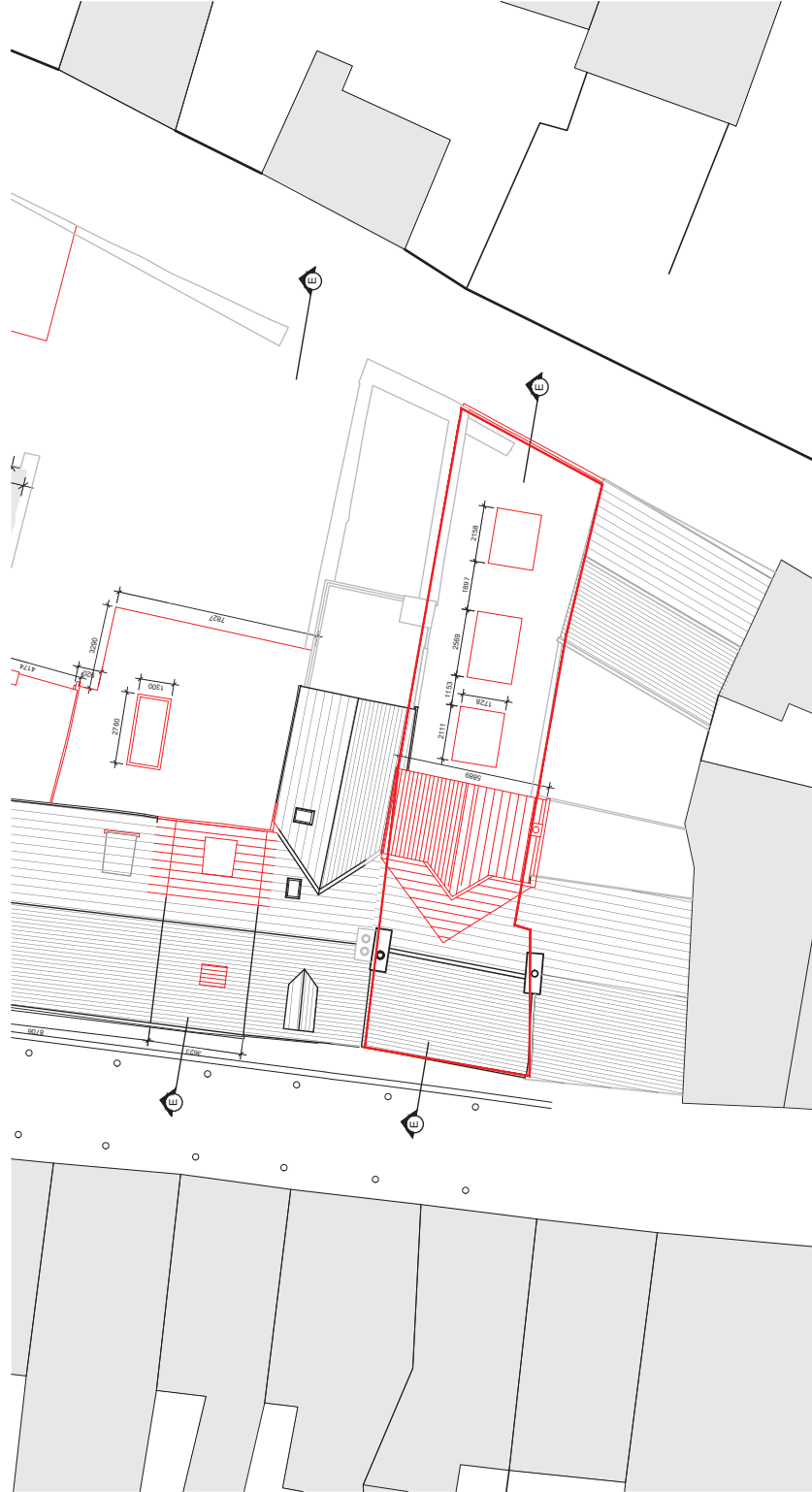
[illegible]

HOUSING CAPITAL SECTION

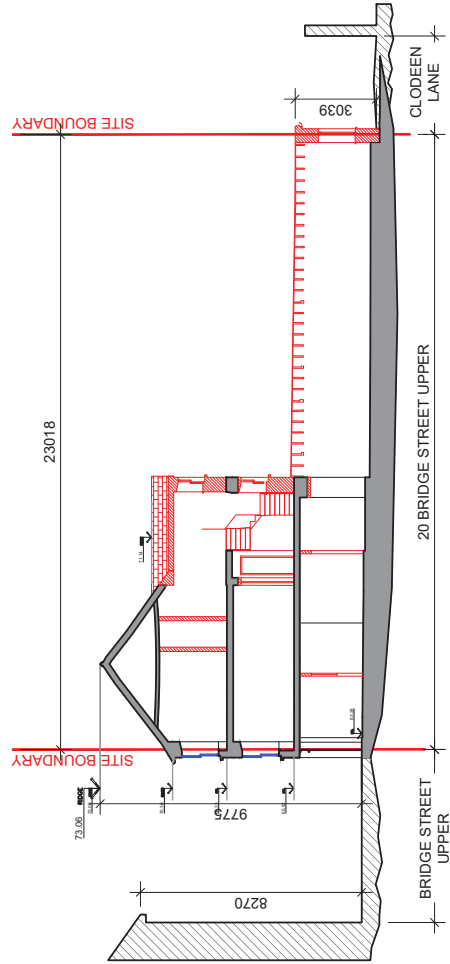


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E-mail: info@kilkennycoco.ie
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PLANNING	TENDER	CONSTRUCTION
☒	☐	☐
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: DEMOLITION SITE PLAN & SITE SECTION		
DRAWN BY: VC		
CHECKED BY: JM		
T. 200 A3		
1:20 SCALE		
DATE: MARCH 2024		
TITLE No.: HS 164		
DRAWING No. 20-D-110		
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DEMOLITION SITE PLAN
SCALE 1:200 @ A3



DEMOLITION SITE SECTION
SCALE 1:200 @ A3

NOTES

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LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- DEMOLITION
- EXISTING WINDOWS & DOORS REPLACED / RESTORED



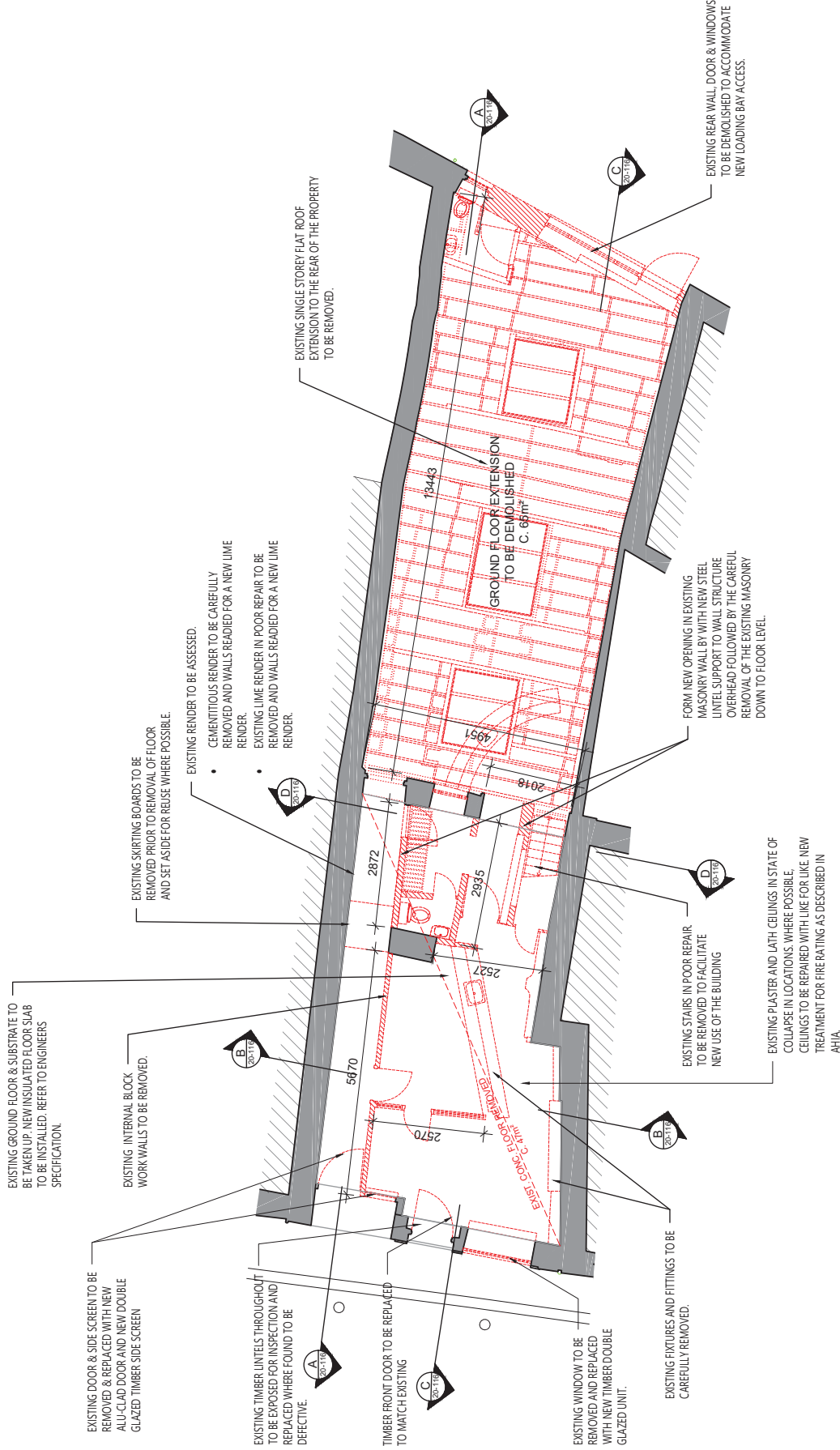
Rev	Description	Date
A	GENERAL DRAWING PROFILES	28/05/24
B	EXTENSION ADDED & APT No. 2 ADDED	23/09/24

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: DEMOLITION GROUND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 @ A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-111		
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DEMOLITION GROUND FLOOR PLAN

SCALE 1:100 @ A3

NOTES

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LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- DEMOLITION
- EXISTING WINDOWS & DOORS REPLACED / RESTORED



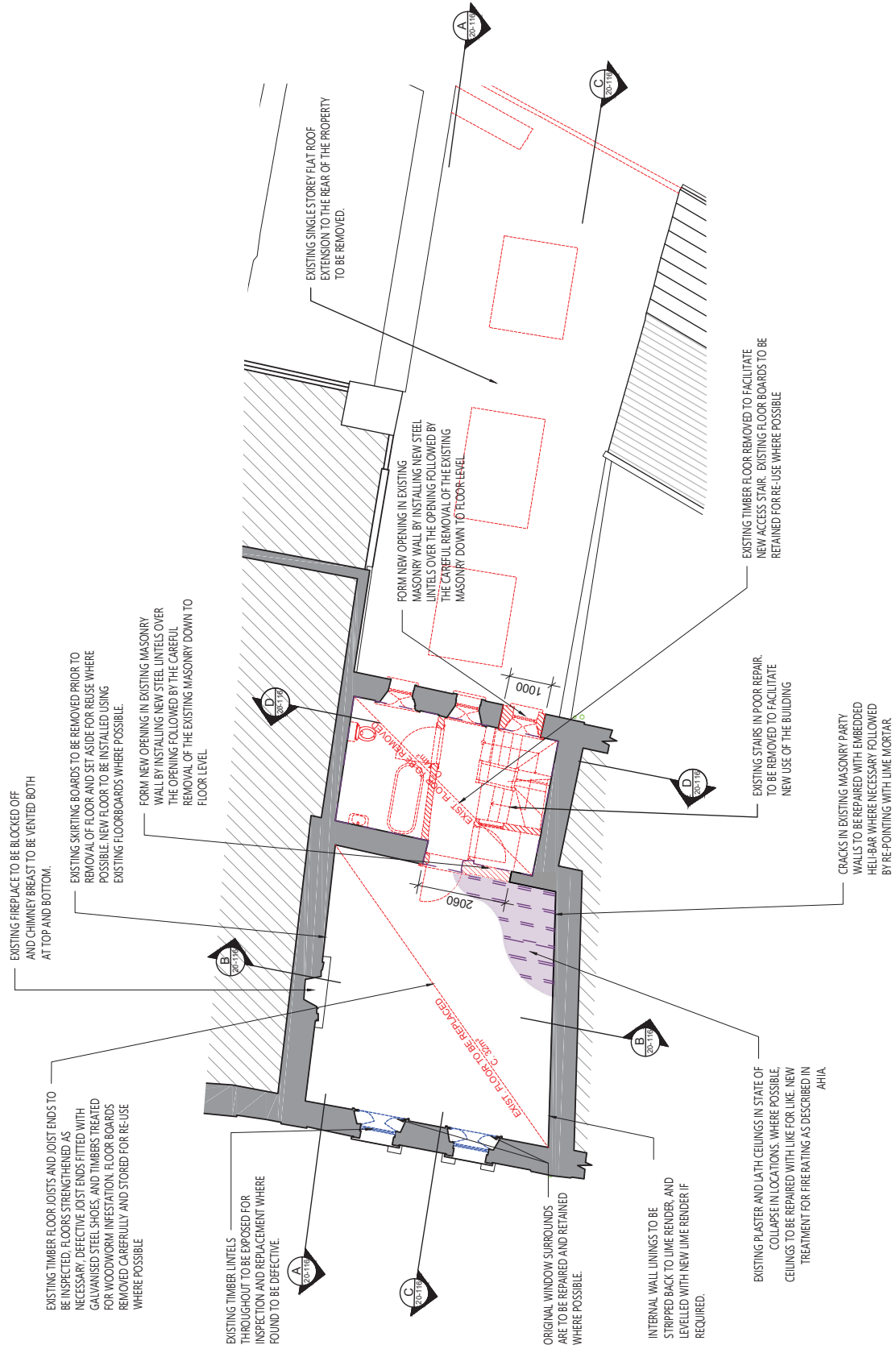
Rev	Description	Date
A	GENERAL DRAWING PROFILES	20/05/24
B	EXTENSION ADDED & ART. No. 2 ADDED	23/09/24

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: DEMOLITION FIRST FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-112		
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DEMOLITION FIRST FLOOR PLAN
SCALE 1:100 @ A3

NOTES

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LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- DEMOLITION
- EXISTING WINDOWS & DOORS REPLACED / RESTORED



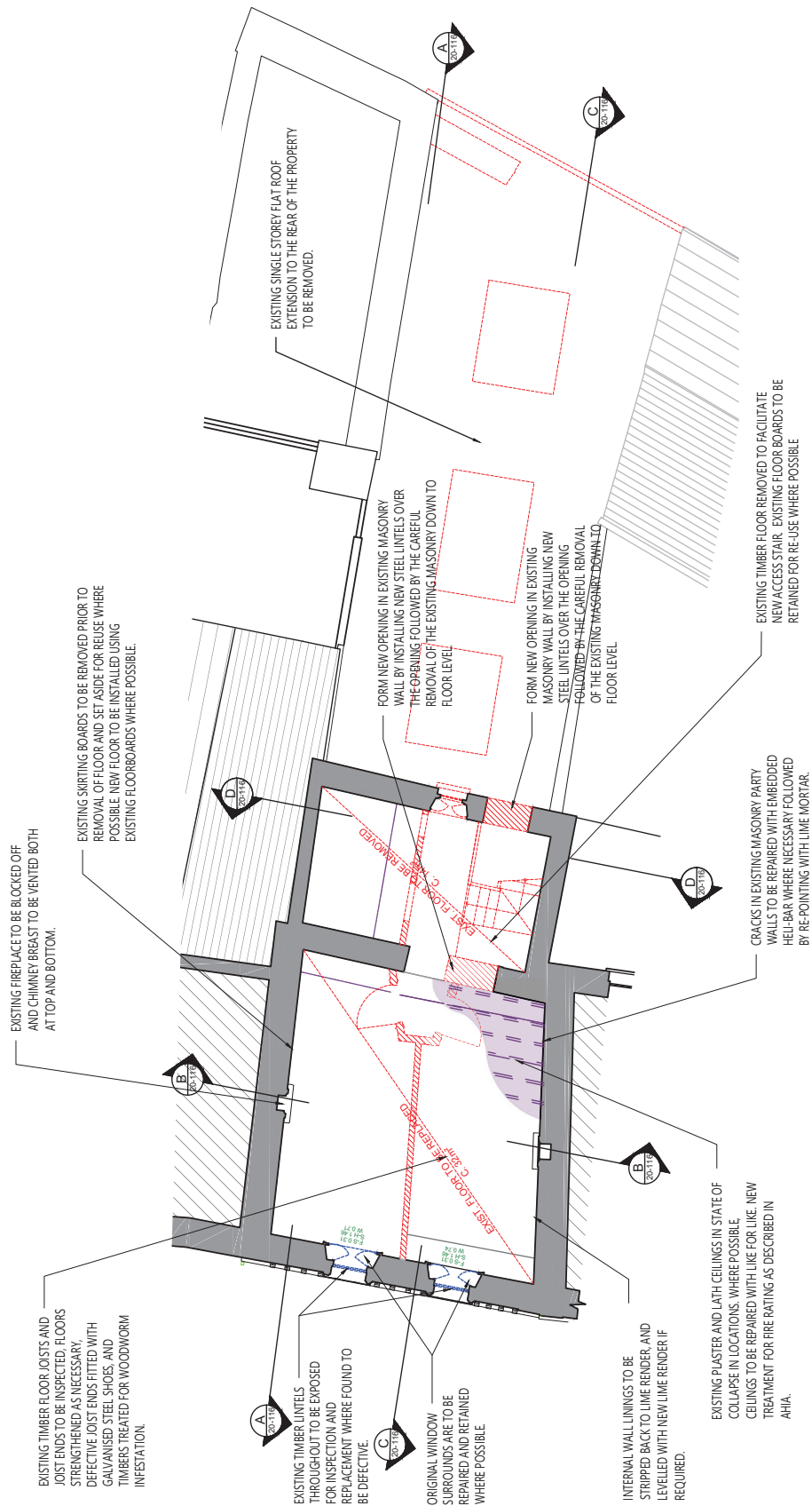
Rev	Description	Date
A	GENERAL DRAWING PROFILES	20/05/24
B	EXTENSION ADDED & ART. No. 2 ADDED	23/09/24

HOUSING CAPITAL SECTION



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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: DEMOLITION SECOND FLOOR PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 @ A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-113		
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LEGEND

- SITE BOUNDARY
- EXISTING WALLS
- DEMOLITION
- EXISTING WINDOWS & DOORS REPLACED / RESTORED



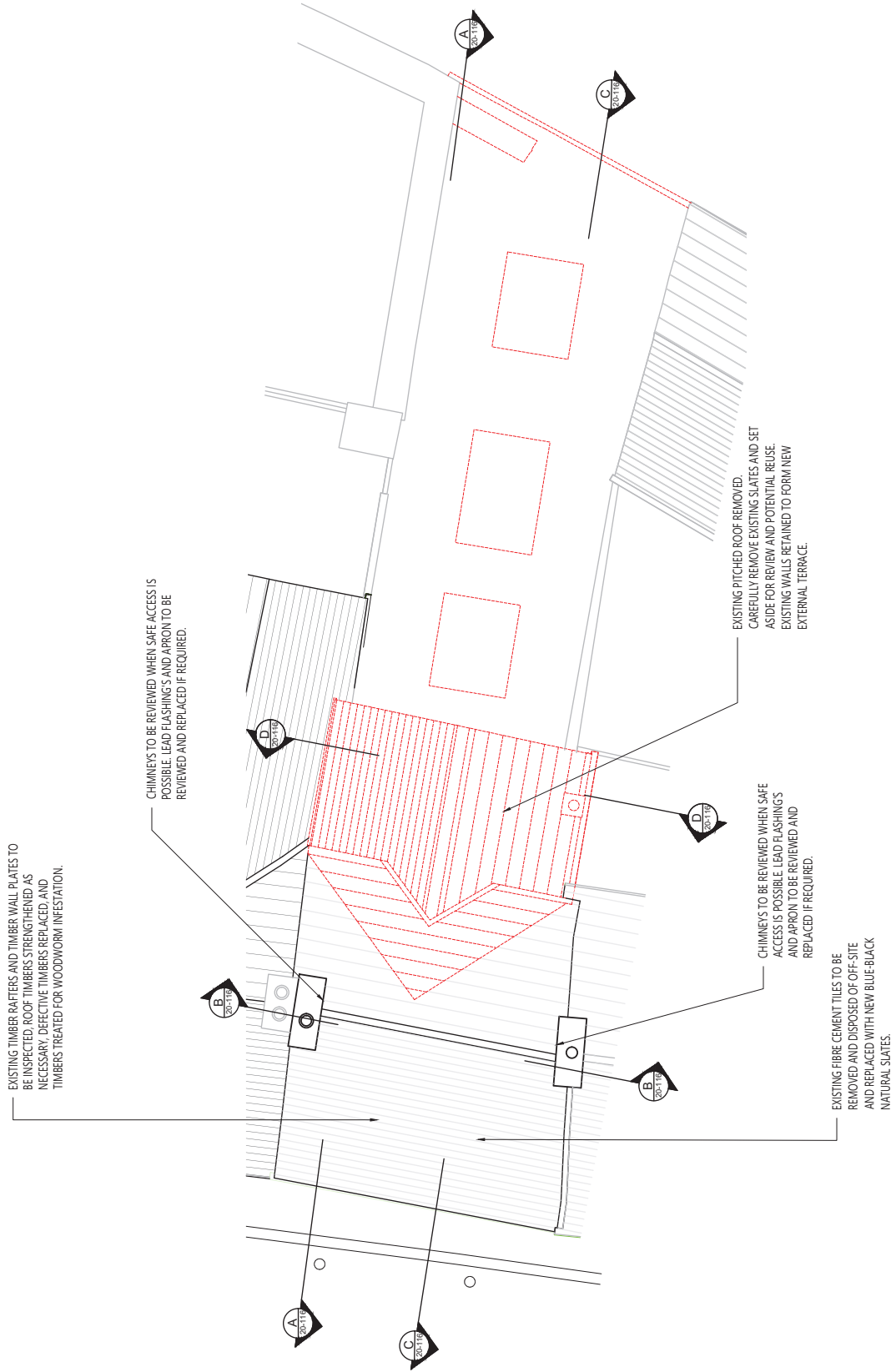
Rev	Description	Date
A	GENERAL DRAWING PROFILES	20/05/24
B	EXTENSION ADDED & ART. No. 2 ADDED	23/09/24

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PLANNING	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, Co. KILKENNY		
DRAWING: DEMOLITION ROOF PLAN		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 @ A3		
DATE: MARCH 2024		
FILE No.: HS-164		
DRAWING No.: 20-P-114		
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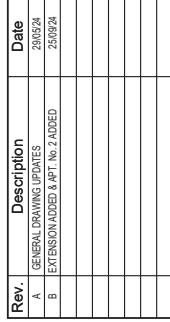
 SITE BOUNDARY

EXISTING WALLS

DEMOLITION



EXISTING WINDOWS & DOORS
REPLACED / RESTORED



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PLANNING	X	TENDER
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PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN Co. KILKENNY

DRAWING: DEMOLITION ELEVATIONS
FRONT & REAR ELEVATION

DRAWN BY: VC

CHECKED BY: JM

DATE:	MARCH 2024
SIGNATURE:	1,100 / 740

FILE No.: HS 164

DRAWING No.: 20-P-115

DEMOLITION REAR ELEVATION
SCALE 1:100 @ A3

DEMOLITION FRONT ELEVATION
SCALE 1:100 @ A3

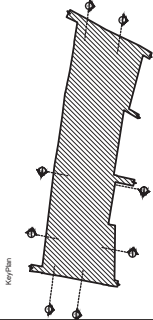
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CLODEEN LANE ELEVATION
SCALE 1:100 @ A3

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

- LEGEND**
- SITE BOUNDARY
 - EXISTING WALLS
 - DEMOLITION
 - EXISTING WINDOWS & DOORS REPLACED / RESTORED

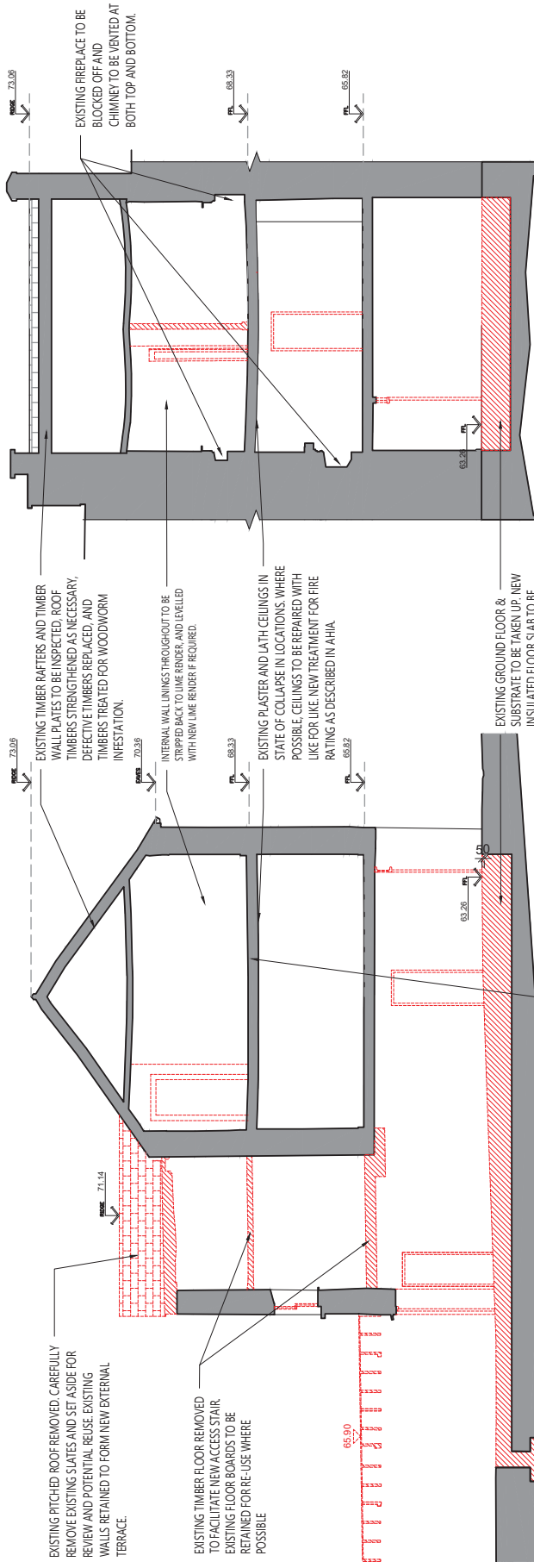


Rev	Description	Date
A	GENERAL DRAWING ISSUES	20/05/24
B	EXTENSION ADDED 8 APR No. 2 ADDED	23/09/24

HOUSING CAPITAL SECTION

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PLANNING	TENDER	CONSTRUCTION
PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY		
DEMOLITION SECTIONS SECTION A-A/B-B/C-C/D-D		
DRAWN BY: VC		
CHECKED BY: JM		
SCALE: 1:100 / A3		
DATE: MARCH 2024		
FILE No.: HS 164		
DRAWING No.: 20-P-116		
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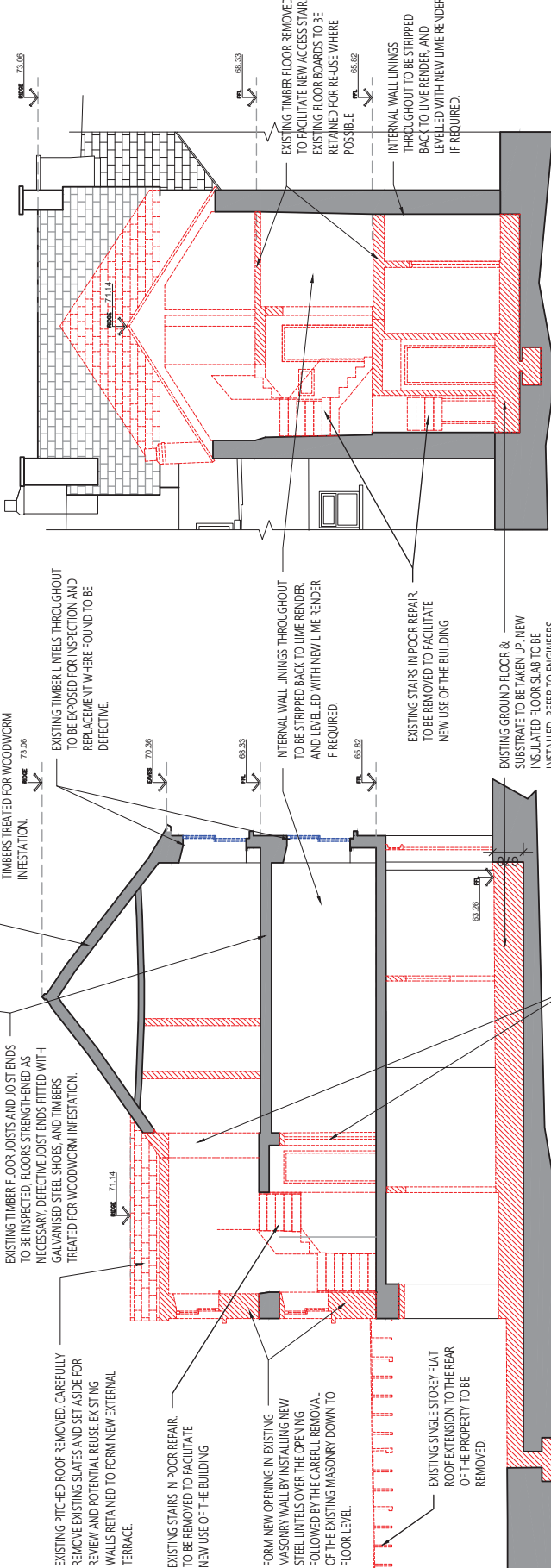


DEMOLITION SECTION A-A

SCALE 1:100 @ A3

DEMOLITION SECTION B-B

SCALE 1:100 @ A3



DEMOLITION SECTION C-C

SCALE 1:100 @ A3

DEMOLITION SECTION D-D

SCALE 1:100 @ A3

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

- SITE BOUNDARY
- PROPOSED EXTENSIONS / NEW BUILDINGS
- PROPOSED NEW WORKS (SECTION)



Rev	Description	Date
A	GENERAL DRAWING UPDATES	20/05/24
B	EXTENSION ADDED & PART No. 2 ADDED	25/09/24
C	GENERAL UPDATE	04/02/25

HOUSING CAPITAL SECTION



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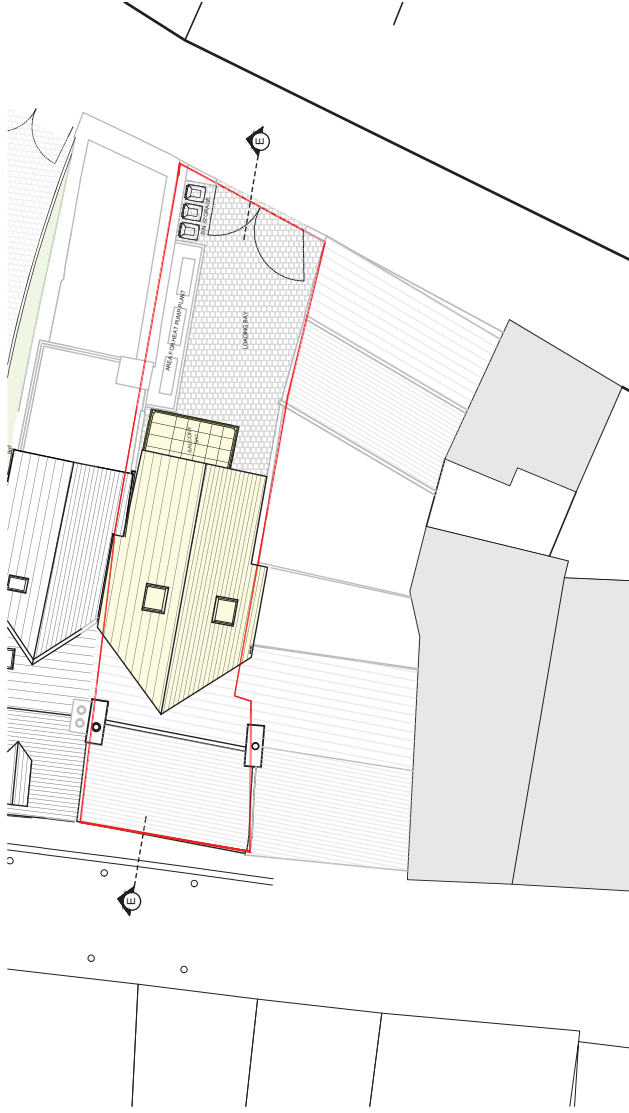
PLANNING	☒	TENDER	☐	CONSTRUCTION	☐
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PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

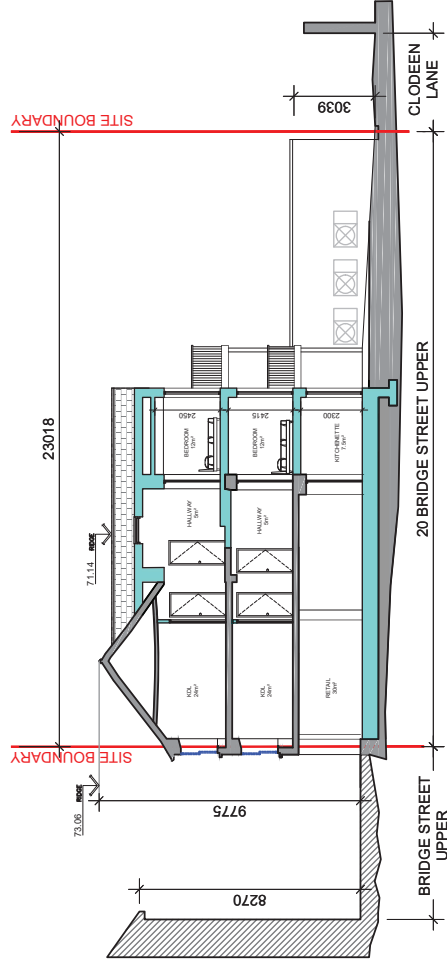
DRAWING: PROPOSED
SITE PLAN & SITE SECTION

DRAWN BY: VC
CHECKED BY: JM
SCALE: 1:200 @ A3
DATE: MARCH 2024
FILE No.: HS-164
DRAWING No.: 20-P-120

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PROPOSED SITE PLAN
SCALE 1:200 @ A3



PROPOSED SITE SECTION
SCALE 1:200 @ A3

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LEGEND

EXISTING WALLS

ADJOINING BUILDING

PROPOSED NEW WORKS (SEE EXISTING WINDOWS & DOOR REPLACED / RESTORED)

DEMOLITION

ARTIST WORKSHOP AREA

APARTMENT. 1

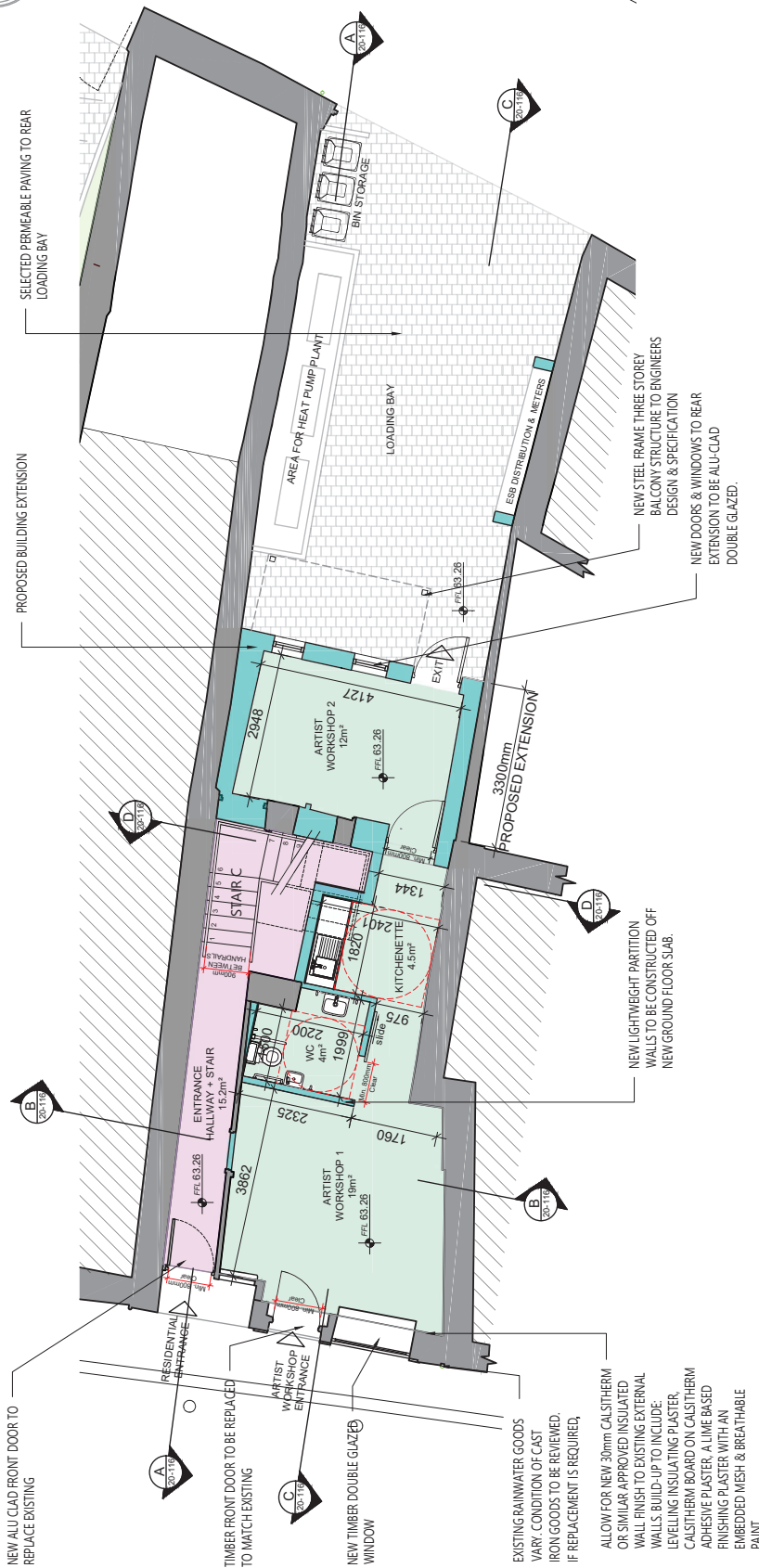
APARTMENT. 2

RESIDENTIAL SHARED AREA

APPROXIMATE LOCATION OF

STAIR C. DETAILS:

WIDTH = 1000mm
BETWEEN HANDRAILS = 900mm
RISE = 170mm
GOING = 280mm
PITCH = 31°



NOTES:

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ALL EXISTING TIMBER SASH WINDOW TO BE REPAIRED WHERE REQUIRED AND TO BE FITTED WITH SLIMLINE DOUBLE GLAZING. EXISTING CORDS AND WEIGHTS TO BE REVIEWED AND BALANCED, AND REPAIRED WHERE NECESSARY. WINDOWS TO BE FITTED WITH RESTRICTORS.

BUILDING AREAS:

LYNCHES	
Ground Floor	
Non Residential Area (Lynches)	31 sqm
Artist Workshops	4.5 sqm
Kitchenette	4.5 sqm
WC	4.5 sqm
Total Non Residential	39.5 sqm
Residential Area	
Shared Stair Enclosure	15.2 sqm

Rev	Description	Date
A	GENERAL DRAWING PROFILES	20/05/24
B	EXTENSION ADDED & ART. No. 2 ADDED	24/09/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION

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PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN, CO. KILKENNY

DRAWING: PROPOSED
GROUND FLOOR PLAN

DRAWN BY:	VC
CHECKED BY:	JM
SCALE:	1:100 A3
DATE:	MARCH 2024
FILE No.:	HS-164
DRAWING No.:	20-P-121
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- LEGEND**
- EXISTING WALLS**
- ADJOINING BUILDING**
- PROPOSED NEW WORKS (SECTION)**
- EXISTING WINDOWS & DOORS REPLACED / RESTORED**
- DEMOLITION**
- ARTIST WORKSHOP AREA**
- APARTMENT. 1**
- APARTMENT. 2**
- RESIDENTIAL SHARED AREA**

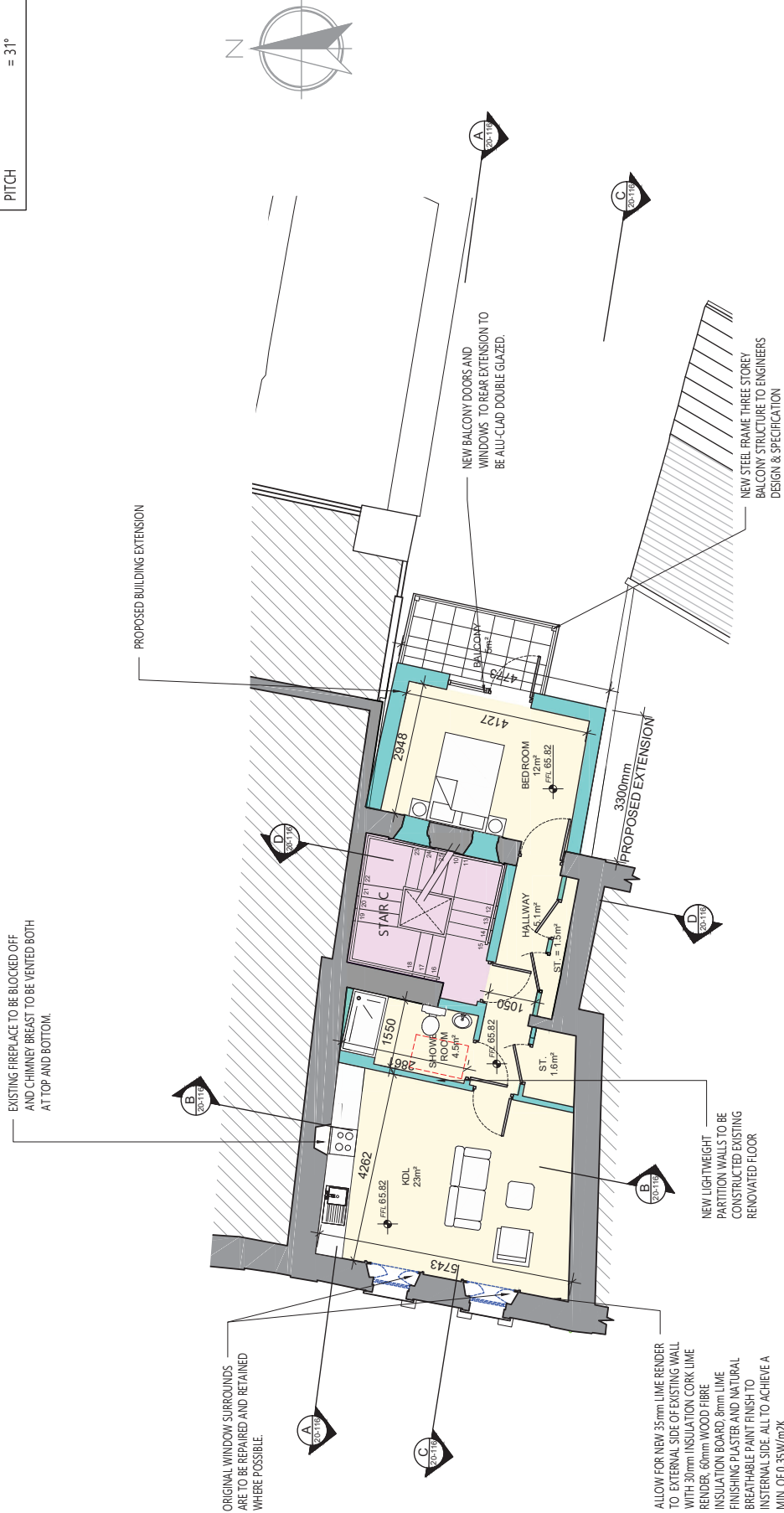
Rev	Description	Date
A	GENERAL DRAWING PROFILES	20/05/24
B	EXTENSION ADDED 1. PART No. 2 ADDED	24/09/24
C	APARTMENT STOREROOM DOORS ADDED	04/12/24
D	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION

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PLANNING	TENDER	CONSTRUCTION
PROJECT:	PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY	
DRAWING:	PROPOSED FIRST FLOOR PLAN	
DRAWN BY:	VC	
CHECKED BY:	JM	
SCALE:	1:100 @ A3	
DATE:	MARCH 2024	
FILE No.:	HS-164	
DRAWING No.:	20-P-122	
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STAIR C. DETAILS:
WIDTH = 1000mm
BETWEEN HANDRAILS = 900mm
RISE = 170mm
GOING = 280mm
PITCH = 31°



BUILDING AREAS:

Upper Floors (1st Floor)						18/29/15 (A)
Apartment 1 (Lynchies)						
Relevant Area	Proposed Unit		Equivalent Dept		Comparison Floor	
	Actual Width	Actual Area (sqm)	Min Width	Min Floor Area (sqm)	Area Percentage	
	2.9	12	2.8	11.4	105.26%	
	Total Storage Area		3	3	100.00%	
	Total Living /Kitchen/Dining		24	23	104.35%	
Gross Internal Floor Area		50	45	111.11%		
Private Open Space		5	5	100.00%		
Shared Stair Enclosure		9 sqm	(First Floor)			

NOTES:
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PROPOSED FIRST FLOOR PLAN

SCALE 1:100 @ A3

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- LEGEND**
- EXISTING WALLS
 - ADJOINING BUILDING
 - PROPOSED NEW WORKS (SEE EXISTING WINDOWS & DOORS REPLACED / RESTORED)
 - DEMOLITION
 - ARTIST WORKSHOP AREA
 - APARTMENT 1
 - APARTMENT 2
 - RESIDENTIAL SHARED AREA

Rev	Description	Date
A	GENERAL DRAWING NOTES	20/05/24
B	EXTENSION ADDED 1.1 PT. No. 2 ADDED	24/09/24
C	APARTMENT 2 BEDROOM DOORS ADDED	04/12/24
D	GENERAL NOTES ADDED	04/02/25

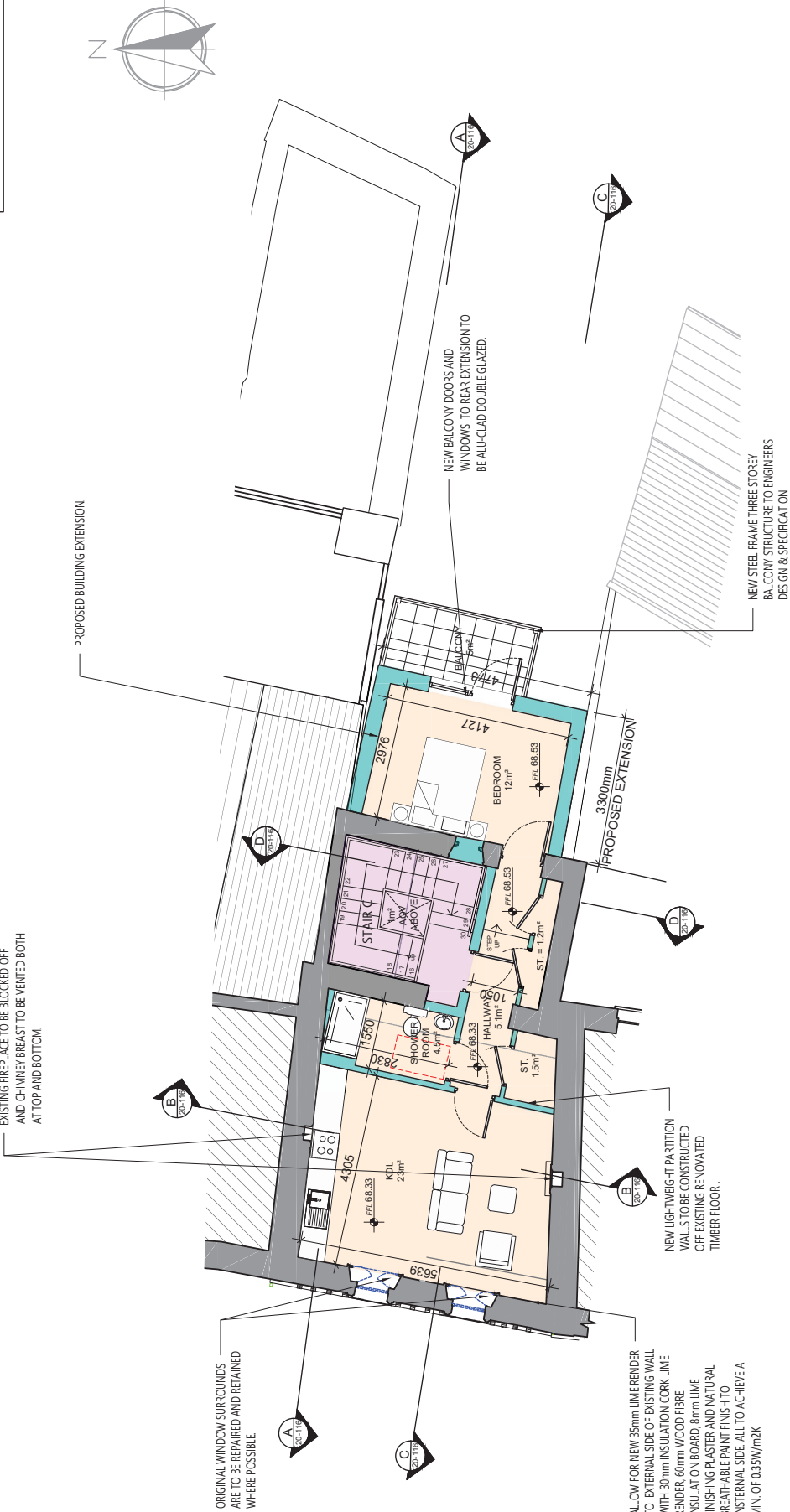
HOUSING CAPITAL SECTION

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Web: www.kilkennycoco.ie

PLANNING	TENDER	CONSTRUCTION
PROJECT:	PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY	
DRAWING:	PROPOSED SECOND FLOOR PLAN	
DRAWN BY:	VC	
CHECKED BY:	JM	
SCALE:	1:100 @ A3	
DATE:	MARCH 2024	
FILE NO.:	HS-164	
DRAWING NO.:	20-P-123	

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STAIR C. DETAILS:
WIDTH
= 1000mm
BETWEEN HANDRAILS
= 900mm
RISE
= 170mm
GOING
= 280mm
PITCH
= 31°



BUILDING AREAS:

Upper Floors (2nd Floor)			
Apartment 2 (Lynchies)			
Relevant Area			
Proposed Unit	Equivalent Dept	Comparison Floor	
Actual	Min Floor	Area Percentage	
Width	Area (sqm)	Min Width	Area (sqm)
2.9	12	2.8	11.4
Bedroom 1			
Total Storage Area			
Total Living / Kitchen / Dining			
Gross Internal Floor Area			
Private Open Space			
Shared Stair Enclosure			
(2nd Floor)			

NOTES:

ALL WINDOWS HIGHLIGHTED BLUE - - - - - TO BE CLOSELY INSPECTED FROM INTERIOR AND EXTERIOR WHEN SAFE ACCESS IS PROVIDED. ITEMS TO BE CHECKED FROM THE EXTERIOR: PUTTY, PAINT, TIMBER, JUNCTION OF WINDOW AND CILL, JUNCTION OF WINDOW AND REVEALS. IF TIMBER DETERIORATION IS DETECTED AT INSPECTION STAGE, REPAIR WORKS ARE PROPOSED IN ACCORDANCE WITH THE DEPARTMENT OF HOUSING, LOCAL GOVERNMENT AND HERITAGE ADVICE SERIES: GUIDE TO REPAIRING HISTORIC WINDOWS.

ALL EXISTING TIMBER SASH WINDOW TO BE REPAIRED WHERE REQUIRED AND TO BE FITTED WITH SLIMLINE DOUBLE GLAZING. EXISTING CORDS AND WEIGHTS TO BE REVIEWED AND BALANCED, AND REPAIRED WHERE NECESSARY. WINDOWS TO BE FITTED WITH RESTRICTORS.

PROPOSED SECOND FLOOR
SCALE 1:100 @ A3

NOTES

DO NOT SCALE FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY.
VERIFY DIMENSION ON SITE AND REPORT ANY DISCREPANCIES TO KILKENNY COUNTY COUNCIL REP. IMMEDIATELY.
DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SPECIFICATIONS AND OTHER DESIGN TEAM ENGINEERING DRAWINGS.
ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

— SITE BOUNDARY
— EXISTING WALLS



Rev	Description	Date
A	GENERAL DRAWING UPDATES	28/05/24
B	EXTENSION ADDED & PART No. 2 ADDED	24/09/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION



Comhairle Chontae Chill Chainnigh
Kilkenny County Council
County Hall John Street Kilkenny
Tel: 056 779 4000
E-mail: info@kilkennycoco.ie
Web: www.kilkennycoco.ie

PLANNING	TENDER	CONSTRUCTION
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PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN, Co. KILKENNY

DRAWING: PROPOSED
ROOF PLAN

DRAWN BY: VC

CHECKED BY: JM

SCALE: 1:100 @ A3

DATE: MARCH 2024

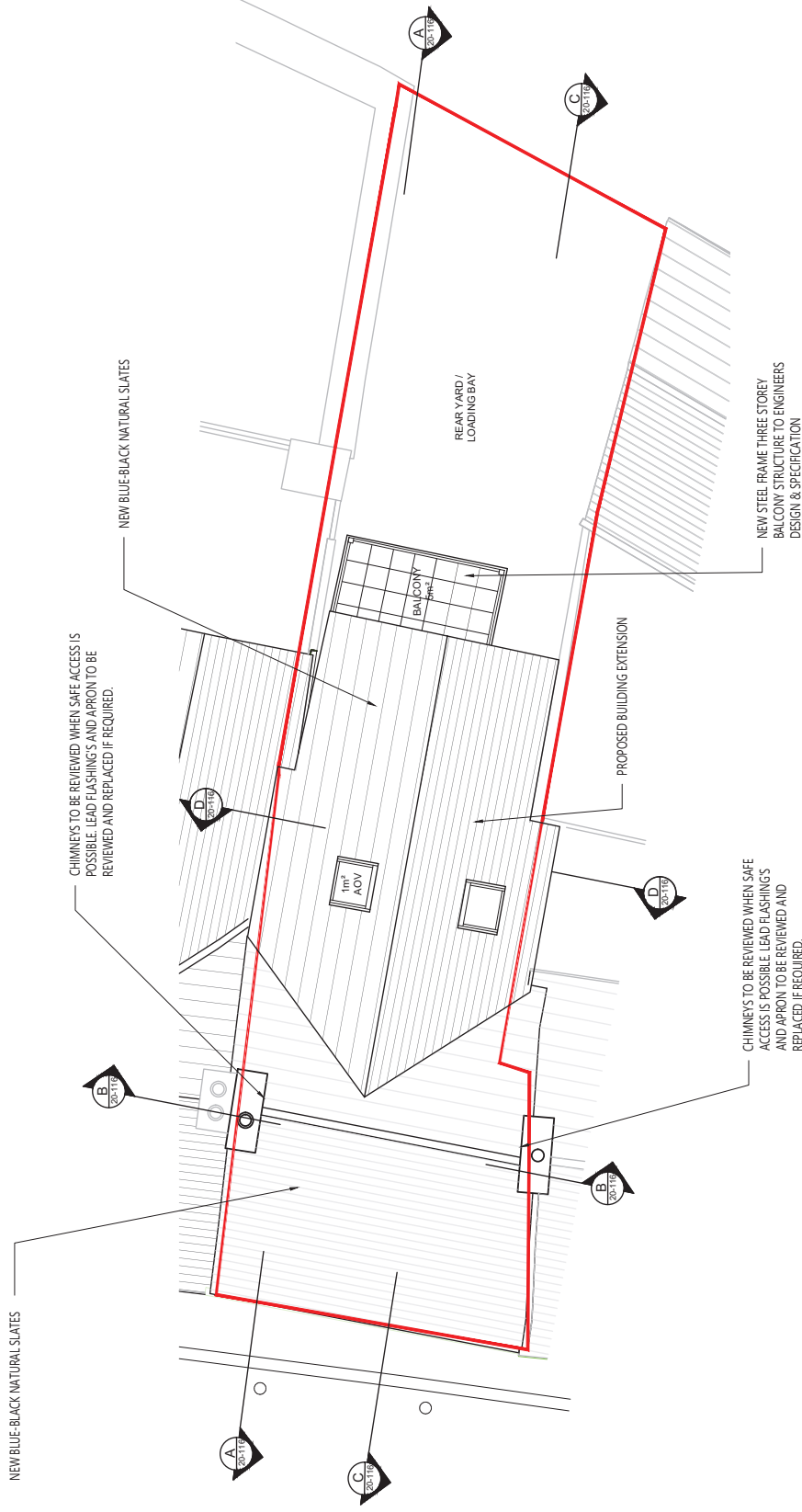
FILE No.: HS-164

DRAWING No.: 20-P-124

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PROPOSED ROOF PLAN

SCALE 1:100 @ A3

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

EXISTING WINDOWS & DOORS
REPLACED / RESTORED

ALL WINDOWS HIGHLIGHTED BLUE TO BE CLOSELY INSPECTED FROM INTERIOR AND EXTERIOR WHEN SAFE ACCESS IS PROVIDED, ITEMS TO BE CHECKED FROM THE EXTERIOR: PUTTY, PAINT, TIMBER, JUNCTION OF WINDOW AND CILL, JUNCTION OF WINDOW AND REVEALS. IF TIMBER DETERIORATION IS DETECTED AT INSPECTION STAGE, REPAIR WORKS ARE PROPOSED IN ACCORDANCE WITH THE DEPARTMENT OF HOUSING, LOCAL GOVERNMENT AND HERITAGE ADVICE SERIES: GUIDE TO REPAIRING HISTORIC WINDOWS.

ALL EXISTING TIMBER SASH WINDOW TO BE REPAIRED WHERE REQUIRED AND TO BE FITTED WITH SLIMLINE DOUBLE GLAZING, EXISTING CORDS AND WEIGHTS TO BE REVIEWED AND BALANCED, AND REPAIRED WHERE NECESSARY. WINDOWS TO BE FITTED WITH RESTRICTORS.

Rev.	Description	Date
A	GENERAL DRAWING UPDATES	29/05/24
B	EXTENSION ADDED & APT. No 2 ADDED	25/09/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION



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PLANNING	✗	TENDER	CONSTRUCTION
PROJECT: PROPOSED REFURBISHMENT AT No. 20 UPPER BRIDGE STREET, CALLAN, CO. KILKENNY			
DRAWING: PROPOSED ELEVATIONS FRONT & REAR ELEVATION			
DRAWN BY: VC			
CHECKED BY: JM			
SCALE: 1:100 / A3			
DATE: MARCH / 2024			
HS:164			
DRAWING NO: 20-16-125			
ALL ORDINANCES, REGULATIONS AND BY-LAWS IN FORCE AT THE TIME OF PREPARATION OF THIS DRAWING SHALL BE CONSIDERED TO BE INCORPORATED HEREIN. RELEASED FROM PUBLIC ACCESS UNDER "2016-2020 DECISION 8484"			

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— PROPOSED BUILDING EXTENSION
WITH RENDER FINISH.

CHIMNEYS TO BE REVIEWED WHEN SAFE ACCESS IS POSSIBLE. LEAD FLASHING'S AND APRON TO BE REVIEWED AND REPLACED IF REQUIRED.

EXISTING TIMBER LINELS
THROUGHOUT TO BE
EXPOSED FOR INSPECTION
AND REPLACEMENT WHERE
FOUND TO BE DEFECTIVE.

NEW STEEL FRAME THREE STOREY
BALCONY STRUCTURE TO ENGINEERS
DESIGN & SPECIFICATION

NEW DOORS AND WINDOWS TO
REAR EXTENSION TO BE ALU-CLAD
DOUBLE GLAZED.

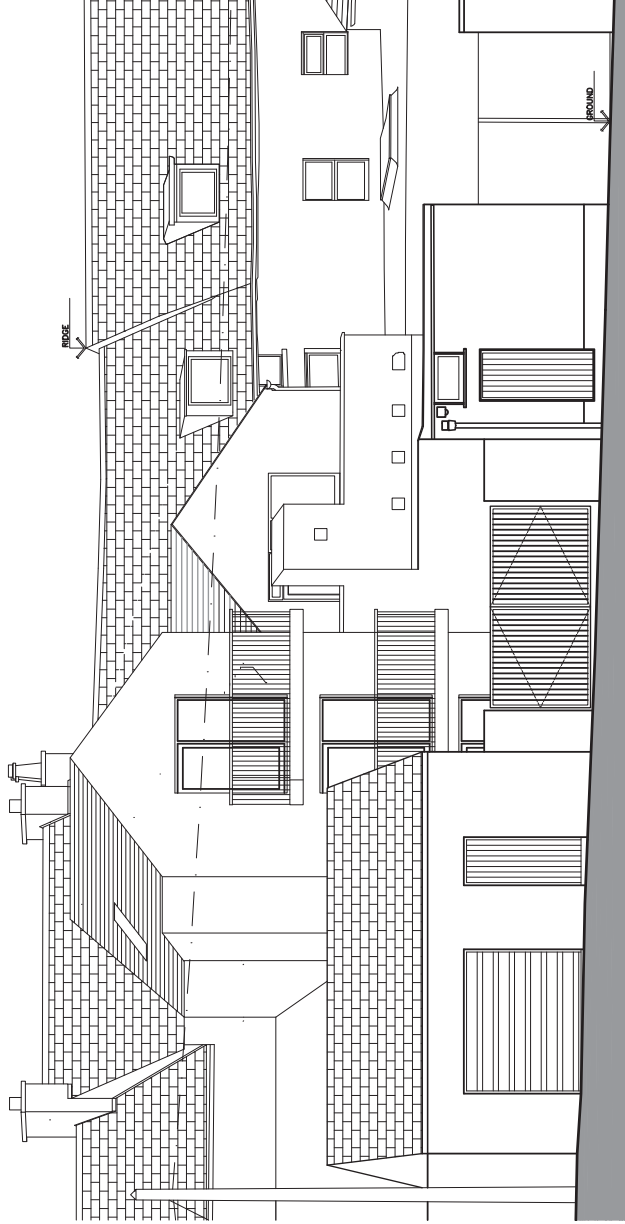
EXISTING RENDER TO BE ASSESSED. CEMENTITIOUS RENDER TO BE REMOVED AND REPLACED WITH LIME RENDER. EXISTING LIME RENDER IN POOR REPAIR TO BE REMOVED AND REPLACED WITH LIME RENDER.

EXISTING TIMBER LINTELS THROUGHOUT TO BE EXPOSED FOR INSPECTION AND REPLACEMENT WHERE FOUND TO BE DEFECTIVE



PROPOSED REAR ELEVATION

SCALE 1:100 @ A3



CLODEEN LANE ELEVATION
SCALE 1:100 @ A3

NOTES

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ALL CONSTRUCTION WORKS TO COMPLY WITH CURRENT BUILDING REGULATIONS.

LEGEND

SITE BOUNDARY

EXISTING WALLS

ADJOINING BUILDING

PROPOSED NEW WORKS (SEC)

EXISTING WINDOWS & DOORS REPLACED / RESTORED

DEMOLITION

STAIR C DETAILS:

WIDTH = 1000mm

BETWEEN HANDRAILS = 900mm

RISE = 170mm

GOING = 280mm

PITCH = 31°

Rev

Rev	Description	Date
A	GENERAL DRAWING ERRATES	20/05/24
B	EXTENSION ADDED & PART No. 2 ADDED	24/09/24
C	GENERAL NOTES ADDED	04/02/25

HOUSING CAPITAL SECTION

 **Comhairle Chontae Chill Chainnigh**
Kilkeny County Council
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PLANNING	TENDER	CONSTRUCTION

PROJECT: PROPOSED REFURBISHMENT
AT No. 20 UPPER BRIDGE STREET,
CALLAN, Co. KILKENNY

DRAWING: PROPOSED SECTIONS
SECTION A-A/B-B/C-C/D-D

DRAWN BY: VC

CHECKED BY: JM

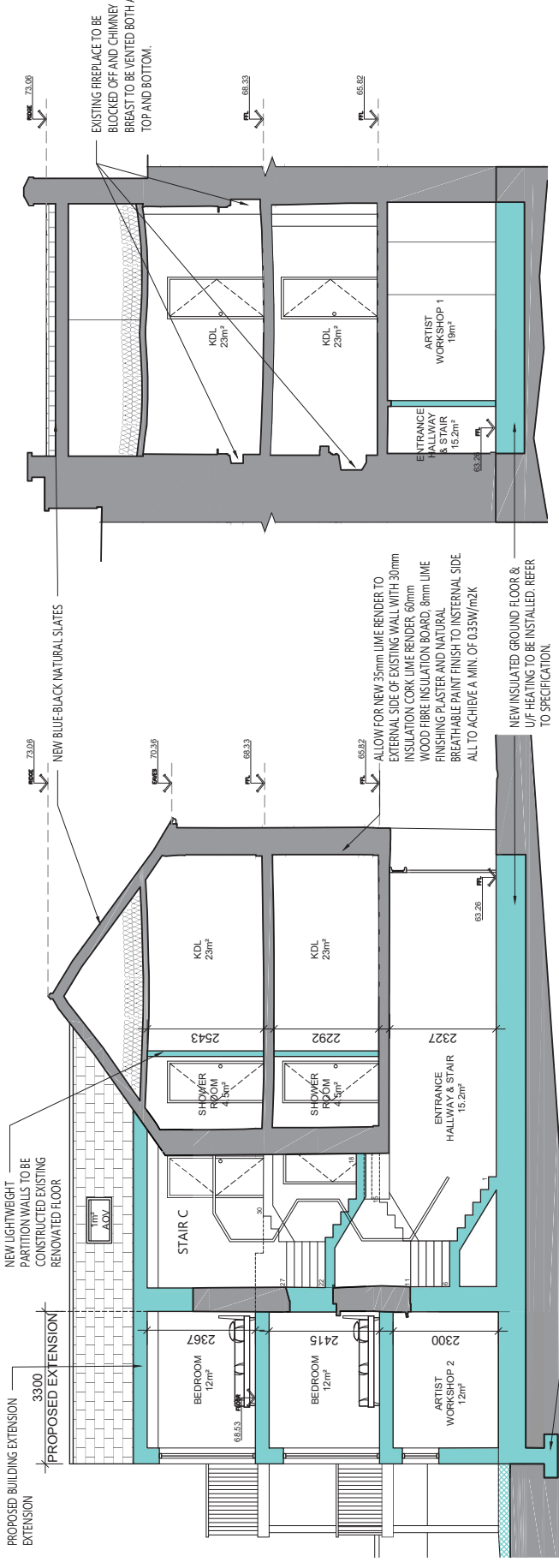
SCALE: 1:100 / A3

DATE: MARCH 2024

FILE No.: HS-164

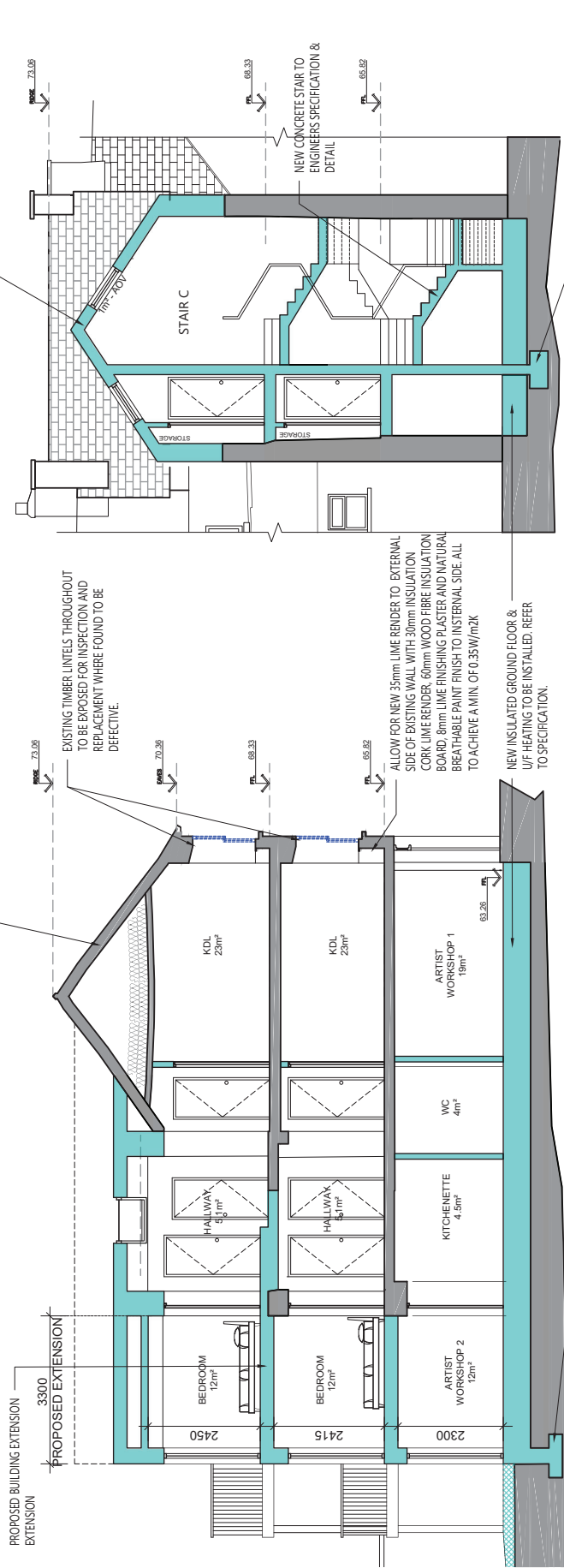
DRAWING No.: 20-P-126

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PROPOSED SECTION A-A
SCALE 1:100 @ A3

PROPOSED SECTION B-B
SCALE 1:100 @ A3



PROPOSED SECTION C-C
SCALE 1:100 @ A3

PROPOSED SECTION D-D
SCALE 1:100 @ A3

PROPOSED SECTION D-D
SCALE 1:100 @ A3